CANDAMIL RESIDENCE

ABBREVIATIONS

	Abbreviation	Meaning
A	A.F.F.	ABOVE FINISHED FLOOR
	A.D.	ACCESS DOOR
	A.P.	ACCESS PANEL
	ACOUST.	ACOUSTICAL
	ADJ.	ADJUSTABLE
	ALT.	ALTERNATE
	ALUM.	ALUMINUM
	APPROX.	APPROXIMATE
	ANOD.	ANODIZED
	ARCH.	ARCHITECTURAL
	ASPH.	ASPHALT
	ASSY.	ASSEMBLY
	ATT.	ATTENUATION
	@	AT
B	BM.	BEAM
	BET.	BETWEEN
	BIT.	BITUMINOUS
	BLK.	BLOCK
	BD.	BOARD
	BRKT.	BRACKET
	BLDG.	BUILDING
	B.U.R.	BUILT UP ROOF
C	CAB.	CABINET
	CPT.	CARPET
	C.I.P.	CAST IN PLACE
	C.I.	CAST IRON
	CLG.	CEILING
	CEM.	CEMENT
	CTR.	CENTER
	C.L.	CENTERLINE
	CER.	CERAMIC
	C.T.	CERAMIC TILE
	C.G.	CORNER GUARD
	CHAN.	CHANNEL
	C.O.	CLEAN OUT
	COL.	COLUMN
	CONC.	CONCRETE
	C.M.U.	CONC. MAS. UNIT
	CONN.	CONNECTION
	CONST.	CONSTRUCTION
	C.J.	CONTROL JOINT
	CONT.	CONTINUOUS
	CSK.	COUNTERSUNK
	CU.	CUBIC
D	DEG. or °	DEGREE(S)
	DEMO.	DEMOLISH
	DEPT.	DEPARTMENT
	DET.	DETAIL
	DIAG.	DIAGONAL
	DIA. or Ø	DIAMETER
	DIM.	DIMENSION
	DISP.	DISPENSER
	DR.	DOOR
	DBL.	DOUBLE
	DN.	DOWN
	DS	DOWNSPOUT
	DWR.	DRAWER
	DWG.	DRAWING
	D.F.	DRINKING FOUNTAIN
E	EA.	EACH
	E.	EAST
	ELECT.	ELECTRIC
	E.P.	ELECTRIC PANEL
	ELEV.	ELEVATION
	ENCL.	ENCLOSURE
	EQ.	EQUAL
	EQUIP.	EQUIPMENT
	EXH.	EXHAUST
	EXIST.	EXISTING
	EXP.	EXPANSION
	E.J.	EXPANSION JOINT
	EXT.	EXTERIOR
F	F.O.C.	FACE OF CONCRETE
	F.O.F.	FACE OF FRAMING
	F.C.U.	FAN COIL UNIT
	FIN.	FINISH
	F.E.	FIRE EXTINGUISHER
	F.E.B.	FIRE EXTINGUISHER BRACKET
	F.E.C.	FIRE EXTINGUISHER CABINET
	F.H.C.	FIRE HOSE CABINET
	FL'G.	FLOORING
	FL.	FLOOR
	F.D.	FLOOR DRAIN
	FL. MT'D.	FLOOR MOUNTED
	FLOUR.	FLOURESCENT
	FT.	FOOT OR FEET
	FT'G.	FOOTING
	FND.	FOUNDATION
	FR.	FRAME
	FURR.	FURRING
	FUT.	FUTURE
G	GALV.	GALVANIZED
	G.I.	GALVANIZED IRON
	GA.	GAUGE
	GEN.	GENERAL
	G.C.	GENERAL CONTRACTOR
	GL.	GLASS
	G.B.	GRAB BAR
	GR.	GRADE
	GND.	GROUND
	GYP.	GYPSUM
	GYP. BD.	GYPSUM BOARD
H	HCP.	HANDICAP
	HD'WD.	HARDWOOD
	HD.	HEAD
	HT.	HEIGHT
	H. PT.	HIGH POINT
	H.C.	HOLLOW CORE
	H.M.	HOLLOW METAL
	HOR.	HORIZONTAL
	H.B.	HOSE BIBB
	HR.	HOUR
I	IN.	INCH
	INCL.	INCLUDE
	INSUL.	INSULATE
	INT.	INTERIOR
	I.D.	INSIDE DIAMETER
J	JT.	JOINT
K	K.O.	KNOCK OUT
L	LAM.	LAMINATE
	LAV.	LAVATORY
	L.H.	LEFT HAND(ED)
	LT.	LIGHT
	LT'WT.	LIGHTWEIGHT
	L.F.	LINEAR FEET
	L. PT.	LOW POINT
	LB.	POUND
	L.O.W.	LIMITS OF WORK
M	MACH.	MACHINE
	M.H.	MAN HOLE
	MAN.	MANUAL
	MFG'R.	MANUFACTURER
	MAS.	MASONRY
	M.O.	MASONRY OPENING
	M.R.	MOISTURE RESISTANT
	MAT.	MATERIAL
	MAX.	MAXIMUM
	MECH.	MECHANICAL
	M.E.P.	MECHANICAL/ELECTICAL/ PLUMBING
	MTL.	METAL
	MM.	MILLIMETER
	MIN.	MINIMUM
	MISC.	MISCELLANEOUS
	MOD.	MODIFIED
	MLD'G.	MOLDING
	MTD.	MOUNTED
	MNT'G.	MOUNTING
	MULL.	MULLION
N	NAT.	NATURAL
	NOM.	NOMINAL
	N.	NORTH
	N/A	NOT APPLICABLE
	N.I.C.	NOT IN CONTRACT
	N.T.S.	NOT TO SCALE
	NO. or #	NUMBER
O	O.C.	ON CENTER
	OPN'G.	OPENING
	OPP.	OPPOSITE
	OPP. H.	OPPOSITE HAND
	OA.	OVERALL
	O.D.	OUTSIDE DIAMETER
	O.H.	OVERHEAD
	O.F.C.I.	OWNER FURNISHED, CONTRACTOR INSTALLED
	O.F.O. I.	OWNER FURNISHED AND INSTALLED
P	PNT.	PAINT
	PR.	PAIR
	P.T.D.	PAPER TOWEL DISPENSER
	P.T.D.R.	PAPER TOWEL DISPENSER & RECEPTACLE
	P. BD.	PARTICLE BOARD
	PART.	PARTITION
	PLAS.	PLASTER
	P. LAM.	PLASTIC LAMINATE
	PL.	PLATE
	PLY'WD.	PLYWOOD
	PT.	POINT
	POL.	POLISHED
	P.S.F.	LB. PER SQ. FOOT
	P.S.I.	LB. PER SQ. INCH
	PVC.	POLYVINYL CHLORIDE
	PROP.	PROPERTY
Q	QT'Y.	QUANTITY
	Q.T.	QUARRY TILE
	RAD.	RADIUS
R	RE:	REFER or REFERENCE
	REFL.	REFLECTED
	REG.	REGISTER
	REINF.	REINFORCED
	REQ'D.	REQUIRED
	R.A.	RETURN AIR
	REV.	REVISED or REVISION
	R.O.W.	RIGHT OF WAY
	R.H.	RIGHT HAND(ED)
	R.	RISER
	R.D.	ROOF DRAIN
	RM.	ROOM
	R.O.	ROUGH OPENING
S	S.N.D.	SANITARY NAPKIN DISP.
	S.N.D.R.	SANITARY NAPKIN DISPOSAL & RECEPTACLE
	SCHED.	SCHEDULE
	SECT.	SECTION
	SERV.	SERVICE
	SHT.	SHEET
	S. & R.	SHELF & ROD
	SIM.	SIMILAR
	S.D	SOAP DISPENSER
	S.C.	SOLID CORE
	S.	SOUTH
	SPEC.	SPECIFICATION
	SQ.	SQUARE
	S.S.	STAINLESS STEEL
	STD.	STANDARD
	STL.	STEEL
	STRUCT.	STRUCTURAL
	S.A.	SUPPLY AIR
	SUSP.	SUSPEND(ED)
T	TEL.	TELEPHONE
	T.V.	TELEVISION
	TEMP.	TEMPERATURE
	T.C.	TERRA COTTA
	TERR.	TERRAZZO
	THK.	THICK
	THRESH.	THRESHHOLD
	T.T.D.	TOILET TISSUE DISPENSER
	T.P.D.	TOILET PAPER DISPENSER
	T.O.B.	TOP OF BEAM
	T.O.C.	TOP OF CURB
	T.O.P.	TOP OF PAVING
	T.O.SL.	TOP OF SLAB
	T.O. STL.	TOP OF STEEL
	T.O.W.	TOP OF WALL
	T & G	TONGUE & GROOVE
	T.B.	TOWEL BAR
	T.H.	TOWEL HOOK
	T.	TREAD
	TRT'D.	TREATED
	TYP.	TYPICAL
U	UNFIN.	UNFINISHED
	U.O.N.	UNLESS OTHERWISE NOTED
	UR.	URINAL
V	V.B.	VAPOR BARRIER
	VAR.	VARIES
	V.T.R.	VENT THROUGH ROOF
	VERT.	VERTICAL
	V.C.T.	VINYL COMPOSITION TILE
	V.W.C.	VINYL WALL COVERING
W	W.T.W.	WALL TO WALL
	W.H.	WALL HUNG
	W.C.	WATER CLOSET
	W.R.	WATER RESISTANT
	W.P.	WATER PROOF(ING)
	WT.	WEIGHT
	W.	WEST
	W. CH.	WHEEL CHAIR
	WDW.	WINDOW
	W.G.	WIRE GLASS
	w/	WITH
	WWF.	WOVEN WIRE FABRIC
	WD.	WOOD
	W.P.	WORK POINT
	W.I.	WROUGHT IRON
Y	YD.	YARD

NOTE:
NOT ALL OF THESE ARCHITECTURAL ABBREVIATIONS MAY BE USED, AND MAY NOT BE THE SAME AS USED BY THE OTHER DISCIPLINES.

SYMBOL LEGEND

- X / A-XXX — WALL SECTION IDENTIFICATION NUMBER; NUMBER OF SHEET IN WHICH SECTION IS DRAWN
- X / A-XXX — BUILDING SECTION IDENTIFICATION NUMBER; NUMBER OF SHEET IN WHICH SECTION IS DRAWN
- X / A-XXX — MILLWORK SECTION IDENTIFICATION NUMBER / NUMBER OF SHEET IN WHICH SECTION IS DRAWN
- X / A-XXX — DETAIL IDENTIFICATION NUMBER; NUMBER OF SHEET IN WHICH DETAIL IS DRAWN
- TRUE NORTH — TRUE NORTH INDICATOR
- 1 — COLUMN GRID NUMBER / LETTER
- 1000 — KEYNOTE IDENTIFICATION NUMBER
- 2 — REVISION NOTE
- 1 — PARTITION TYPE
- 001 — DEMOLITION KEYNOTE
- A — WINDOW LETTER DESIGNATION
- EMPLOYEES LOUNGE — ROOM NAME
- 101 — ROOM NUMBER
- 101 — DOOR NUMBER
- X / A-XXX — ELEVATION IDENTIFICATION
- NON-FIRE RATED
- 1 HR. SEPARATION
- ALIGN
- 1 / A-601 — SHEET NUMBER OF DETAIL; DETAIL NUMBER
- LEVEL 1 — LEVEL
- 100.00' — ELEVATION
- FINISH FLOOR — LEVEL DESCRIPTION
- 100.00' — FLOOR ELEVATION
- ELEVATION CHANGE
- ℄ — CENTERLINE

BEST MANAGEMENT PRACTICE

- Eroded sediments and other pollutants must be retained on site and may not be transported from the site via sheet flow, swales, area drains, natural drainage courses or wind.
- Stockpiles of earth and other construction related materials must be protected from being transported from the site by the forces of wind or water.
- Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and are not to contaminate the soil and surface waters. All approved storage containers are to be protected from the weather. Spills may not be washed into the drainage system.
- Excess or waste concrete may not be washed into the public way or any other drainage system. Provisions must be made to retain concrete wastes on site until they can be disposed of as a solid waste.
- Trash and construction related wastes must be deposited into a covered receptacle to prevent contamination of rainwater and dispersal by wind.
- Sediments and other material may not be traced from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the public way. Accidental depositions must be swept up immediately and may not be washed down by rain or other means.
- Any slopes with disturbed soils or demanded of vegetation must be stabilized so as to inhibit erosion by wind and water.

CODE COMPLIANCE

GOVERNING AGENCY:
City of Whittier
13230 Penn Street,
Whittier, California 90602

APPLICABLE CODES:
ALL WORK AND MATERIAL SHALL BE PERFORMED AND INSTALLED IN COMPLIANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

- 2016 CALIFORNIA BUILDING STANDARDS CODE
- 2016 CALIFORNIA MECHANICAL CODE
- 2016 CALIFORNIA PLUMBING CODE
- 2016 CALIFORNIA ELECTRICAL CODE
- 2016 CALIFORNIA ENERGY CODE
- 2016 CALIFORNIA RESIDENTIAL CODE
- CITY OF WHITTIER MUNICIPAL CODE AND ADOPTING ORDINANCES
- BEST MANAGEMENT PRACTICES LISTED ON THIS PROJECT.

2

1 3D View 1

SITE STATISTICS

PROJECT DATA
OWNER: Mayra & Sebastian Candamil
JOB ADDRESS:
9700 Portada Drive
Whittier, CA 90603

APN : 8224-026-015
YEAR BUILT: 1957

SITE DATA:
ZONING: "R-E, Residential Estate Zone"
LOT AREA: 32,006 Sq.Ft. (0.75 Acres)
COASTAL ZONE: NO

BUILDING DATA:
OCCUPANCY CLASSIFICATION: R-U
DESCRIPTION OF USE: Single Family Residence
TYPE OF CONSTRUCTION: TYPE V
NUMBER OF STORIES: One
HEIGHT OF BUILDING: APPROXIMATELY 18'-0"
FIRE HAZARD SEVERITY ZONE: NONE
2

FRONT SETBACK: 25' MIN.
SIDEYARD: 10' MIN.
BACKSIDE: 10' MIN.
LOT COVERAGE: Allowable 40% (4,870 / 32,006=15%)
FAR: Allowable 40% (4,210 / 32,006=13%)

PROJECT SCOPE:
Remove existing roof framing and ceiling joist at existing main dwelling.
Add new roof configuration and vaulted ceiling at interior public spaces as indicated in the floor plan.
Add new covered patio attached to the rear side of the property. Vaulted ceiling with sloped vaulted plaster ceiling.
Remove the existing concrete deck and pool coping in order to accommodate the columns support the proposed Patio.
Abandone the pool and fill.
Remove existing asphalt paved driveway. Re-compact top soil layers in order to accommodate new concrete draveway.

BUILDING TABULATED AREA:
Existing 5 bedroom & 5.5 Bath Single Family Dwelling - 3,215 SF
Existing Carport - 382 SF
Existing Porch - 88 SF

Area Schedule (Gross Livable Building)

Number	Name	Area	Comments
01	Existing Main Dwelling	3164 SF	
02	Existing Garage	401 SF	
03	Existing Covered Entry	23 SF	
04	Existing Cover Porch	89 SF	
05	Proposed Patio Area	1049 SF	
06	Proposed Garage Addition	153 SF	
Grand total: 6		4878 SF	

VICINITY MAP
6" = 1'-0"

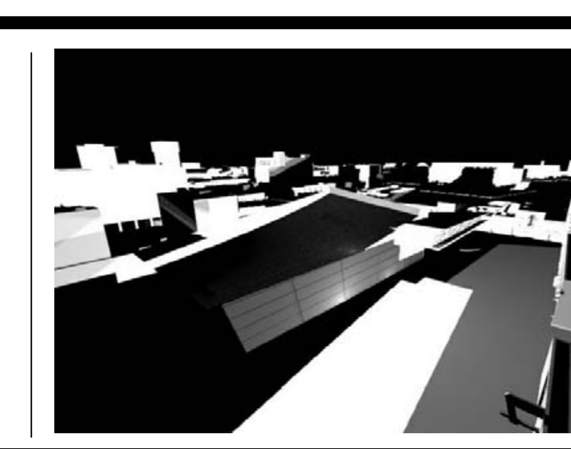
Sheet List

Sheet Number	Sheet Name
.G100	COVER SHEET
.G201	ENERGY CALCULATIONS
A101	SITE PLAN
A201	FIRST FLOOR PLAN (Existing)
A202	PROPOSED FLOOR PLAN
A203	EXISTING REFELECTED CEILING PLAN
A204	PROPOSED REFLECTED CEILING PLAN
A205	ROOF PLAN (Existing)
A206	PROPOSED ROOF PLAN
A301	EXTERIOR ELEVATIONS
A302	EXTERIOR ELEVATIONS
A401	BUILDING SECTIONS
A402	TYPICAL EXTERIOR DETAILS
A500	3D VIEWS
A501	3D VIEW (ROOF FRAMING)
A601	SCHEDULES
S1.0	NOTES & DETAILS
S2.0	FOUNDATION PLAN
S2.1	ROOF FRAMING PLAN
S3.0	FOUNDATION DETAILS
S3.1	FRAMING DETAILS

No.	Description	Date
1	1st Plan Check	02/13/17
2	2nd Plan Check	04/10/17

Project number	Project Number
Date	Issue Date
Drawn by	Author
Checked by	Checker

Consultant
Address
Address
Phone
Fax
e-mail



STITCH STUDIO

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CANDAMIL RESIDENCE
Remodel to Existing Single Family Dwelling
9700 Portada Drive, Whittier, CA
COVER SHEET

.G100

Scale As indicated

4/11/2017 10:32:30 AM

GENERAL INFORMATION					
01	Project Name	Residential Building			
02	Calculation Description	Title 24 Analysis			
03	Project Location	9700 Portanda Drive			
04	City	Whittier	05	Standards Version	Compliance 2015
06	Zip Code		07	Compliance Manager Version	BEMCmpMgr 2013-4b (433)
08	Climate Zone	CZ9	09	Software Version	EnergyPro 6.8
10	Building Type	Single Family	11	Front Orientation (deg/Cardinal)	225
12	Project Scope	Addition and/or Alteration	13	Number of Dwelling Units	1
14	Total Cond. Floor Area (ft²)	3215	15	Number of Zones	1
16	Slab Area (ft²)	0	17	Number of Stories	1
18	Addition Cond. Floor Area	0	19	Natural Gas Available	Yes
20	Addition Slab Area (ft²)	0	21	Glazing Percentage (%)	23.5%

COMPLIANCE RESULTS	
01	Building Complies with Computer Performance
02	This building DOES NOT require HERS Verification

ENERGY USE SUMMARY

04	05	06	07	08
Energy Use (kTDV/ft²-yr)	Standard Design	Proposed Design	Compliance Margin	Percent Improvement
Space Heating	29.39	24.49	4.90	16.7%
Space Cooling	66.40	61.74	4.66	7.0%
IAQ Ventilation	0.00	0.00	0.00	0.0%
Water Heating	15.24	15.24	0.00	0.0%
Photovoltaic Offset	----	0.00	0.00	----
Compliance Energy Total	111.03	101.47	9.56	8.6%

REQUIRED SPECIAL FEATURES

The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.

NO SPECIAL FEATURES REQUIRED

HERS FEATURE SUMMARY

The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building components tables below.

Building-level Verifications:
- -- None --

Cooling System Verifications:
- -- None --

HVAC Distribution System Verifications:
- -- None --

Domestic Hot Water System Verifications:
- -- None --

ENERGY DESIGN RATING

This is the sum of the annual TDV energy consumption for energy use components included in the performance compliance approach for the Standard Design Building (Energy Budget) and the annual TDV energy consumption for lighting and components not regulated by Title 24, Part 6 (such as domestic appliances and consumer electronics) and accounting for the annual TDV energy offset by an on-site renewable energy system.

	Reference Energy Use	Energy Design Rating	Margin	Percent Improvement
Total Energy (kTDV/f2-yr)*	151.84	142.28	9.56	6.3%

* includes calculated Appliances and Miscellaneous Energy Use (AMEU)

BUILDING - FEATURES INFORMATION

01	02	03	04	05	06	07
Project Name	Conditioned Floor Area (ft2)	Number of Dwelling Units	Number of Bedrooms	Number of Zones	Number of Ventilation Cooling Systems	Number of Water Heating Systems
Residential Building	3215	1	4	1	0	1

ZONE INFORMATION

01	02	03	04	05	06	07
Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft²)	Avg. Ceiling Height	Water Heating System 1	Water Heating System 2
Existing Living Area	Conditioned	HVAC System1	3215	9	DHW Sys 1	

OPAQUE SURFACES

01	02	03	04	05	06	07	08	09	10
Name	Zone	Construction	Azimuth	Orientation	Gross Area (ft²)	Window & Door Area (ft²)	Tilt (deg)	Status	Verified Existing Condition
Front Wall	Existing Living Area	R-0 Wall	225	Front	540	128	90	Existing	No
Left Wall	Existing Living Area	R-0 Wall	315	Left	180	12	90	Existing	No
Rear Wall	Existing Living Area	R-0 Wall	45	Back	306	146.6	90	Existing	No
Right Wall	Existing Living Area	R-0 Wall	135	Right	180	36	90	Existing	No
Left Wall 2	Existing Living Area	R-0 Wall	290	65	369	33.3	90	Existing	No
Rear Wall 2	Existing Living Area	R-0 Wall	20	155	198	52.9	90	Existing	No
Right Wall 2	Existing Living Area	R-0 Wall	110	245	270	110	90	Existing	No
Left Wall 3	Existing Living Area	R-0 Wall	340	115	248	117.3	90	Existing	No
Rear Wall 3	Existing Living Area	R-0 Wall	70	205	162	73.3	90	Existing	No
Right Wall 3	Existing Living Area	R-0 Wall	160	295	126	30	90	Existing	No
Interior Surface	Existing Living Area>>__Garage__	R-0 Wall1			234	40		Existing	No
Roof 2	Existing Living Area	R-30 Roof Attic			3179.8			Altered	N/A
Raised Floor	Existing Living Area	R-0 Floor Crawlspace			3215			Existing	No
Front Wall 2	__Garage__	R-0 Wall	250	25	216	0	90	Existing	No
Left Wall 4	__Garage__	R-0 Wall	340	115	234	0	90	Existing	No
Rear Wall 4	__Garage__	R-0 Wall	70	205	216	0	90	Existing	No
Right Wall 4	__Garage__	R-0 Wall	160	295	234	0	90	Existing	No
Roof 3	__Garage__	R-0 Roof Attic			531			Existing	No

OPAQUE SURFACES – Cathedral Ceilings

01	02	03	04	05		06	07	08	09	10	11	12	13
Name	Zone	Type	Orientation	Area (ft²)	Skylight Area (ft2)	Roof Rise (x in 12)	Roof Pitch	Roof Tilt(deg)	Roof Reflectance	Roof Emittance	Framing Factor	Status	Verified Existing Condifion
Roof	Existing Living Area	R-30 Roof Attic1	- specify -	35.3	35.2	4	0.33	18.43	0.1	0.85	0.07	Altered	N/A

ATTIC

01	02	03	04	05	06	07	08	09	10
Name	Construction	Type	Roof Rise	Roof Reflectance	Roof Emittance	Radiant Barrier	Cool Roof	Status	Verified Existing Condition
Attic __Garage__	Attic Garage Roof Cons	Ventilated	4	0.1	0.85	No	No	Existing	No
Attic Existing Living Area	Attic RoofExisting Living Area	Ventilated	4	0.1	0.85	No	No	Existing	No

WINDOWS

01	02	03	04	05	06	07	08	09	10	11
Name	Surface (Orientation-Azimuth)	Width(ft)	Height (ft)	Multiplier	Area (ft²)	U-factor	SHGC	Exterior Shading	Status	Verified Existing Condition
H	Front Wall (Front-225)	----	----	1	36.0	0.32	0.25	Insect Screen (default)	New	N/A
H 2	Front Wall (Front-225)	----	----	1	36.0	0.32	0.25	Insect Screen (default)	New	N/A
H 3	Front Wall (Front-225)	----	----	1	36.0	0.32	0.25	Insect Screen (default)	New	N/A
B	Left Wall (Left-315)	----	----	1	12.0	0.32	0.25	Insect Screen (default)	New	N/A
Sliding Glass Door 135	Rear Wall (Back-45)	----	----	1	73.3	0.32	0.25	Insect Screen (default)	New	N/A
Sliding Glass Door 136	Rear Wall (Back-45)	----	----	1	73.3	0.32	0.25	Insect Screen (default)	New	N/A
H 4	Right Wall (Right-135)	----	----	1	36.0	0.32	0.25	Insect Screen (default)	New	N/A
Sliding Glass Door 131	Left Wall 2 (- specify --290)	----	----	1	33.3	0.32	0.25	Insect Screen (default)	New	N/A
J	Rear Wall 2 (- specify --20)	----	----	1	52.9	0.32	0.25	Insect Screen (default)	New	N/A
Sliding Glass Door 139	Right Wall 2 (- specify --110)	----	----	1	73.3	0.32	0.25	Insect Screen (default)	New	N/A
Sliding Glass Door 143	Right Wall 2 (- specify --110)	----	----	1	36.7	0.32	0.25	Insect Screen (default)	New	N/A
Sliding Glass Door 138	Left Wall 3 (- specify --340)	----	----	1	117.3	0.32	0.25	Insect Screen (default)	New	N/A
Sliding Glass Door 137	Rear Wall 3 (- specify --70)	----	----	1	73.3	0.32	0.25	Insect Screen (default)	New	N/A
K	Right Wall 3 (- specify --160)	----	----	1	30.0	0.32	0.25	Insect Screen (default)	New	N/A
Skylight	Roof (- specify --0)	----	----	1	8.8	0.32	0.25	None	New	N/A
Skylight 2	Roof (- specify --0)	----	----	1	8.8	0.32	0.25	None	New	N/A
Skylight 3	Roof (- specify --0)	----	----	1	8.8	0.32	0.25	None	New	N/A
Skylight 4	Roof (- specify --0)	----	----	1	8.8	0.32	0.25	None	New	N/A

DOORS

01	02	03	04	05	06
Name	Side of Building	Area (ft²)	U-factor	Status	Verified Existing Condition
Door	Front Wall	20.0	0.50	Existing	No
Door 2	Interior Surface	20.0	0.50	New	No
Door 3	Interior Surface	20.0	0.50	New	No

OPAQUE SURFACE CONSTRUCTIONS

01	02	03	04	05	06	07
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Winter Design U-value	Assembly Layers
R-0 Wall	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O.C.	none	0.361	• Inside Finish: Gypsum Board • Cavity / Frame: no insul. / 2x4 • Exterior Finish: 3 Coat Stucco
R-0 Roof Attic	Ceilings (below attic)	Wood Framed Ceiling	2x4 @ 24 in. O.C.	none	0.481	• Inside Finish: Gypsum Board • Cavity / Frame: no insul. / 2x4
Attic Garage Roof Cons	Attic Roofs	Wood Framed Ceiling	2x4 Top Chord of Roof Truss @ 24 in. O.C.	none	0.644	• Cavity / Frame: no insul. / 2x4 Top Chrd • Roof Deck: Wood Siding/sheathing/decking • Roofing: Light Roof (Asphalt Shingle)
Attic RoofExisting Living Area	Attic Roofs	Wood Framed Ceiling	2x4 Top Chord of Roof Truss @ 24 in. O.C.	none	0.644	• Cavity / Frame: no insul. / 2x4 Top Chrd • Roof Deck: Wood Siding/sheathing/decking • Roofing: Light Roof (Asphalt Shingle)
R-0 Floor Crawlspace	Floors Over Crawlspace	Wood Framed Floor	2x12 @ 16 in. O.C.	none	0.216	• Floor Surface: Carpeted • Floor Deck: Wood Siding/sheathing/decking • Cavity / Frame: no insul. / 2x12
R-0 Wall1	Interior Walls	Wood Framed Wall	2x4 @ 16 in. O.C.	none	0.277	• Inside Finish: Gypsum Board • Cavity / Frame: no insul. / 2x4 • Other Side Finish: Gypsum Board
R-30 Roof Attic	Ceilings (below attic)	Wood Framed Ceiling	2x4 @ 24 in. O.C.	R 30	0.032	• Inside Finish: Gypsum Board • Cavity / Frame: R-9.1 / 2x4 • Over Ceiling Joists: R-20.9 insul.
R-30 Roof Attic1	Cathedral Ceilings	Wood Framed Ceiling	2x4 @ 24 in. O.C.	R 30	0.042	• Inside Finish: Gypsum Board • Cavity / Frame: R-30 / 2x4 • Roof Deck: Wood Siding/sheathing/decking • Roofing: Light Roof (Asphalt Shingle)

WATER HEATING SYSTEMS

01	02	03	04	05	06	07	08
Name	System Type	Distribution Type	Water Heater	Number of Heaters	Solar Fraction (%)	Status	Verified Existing Condition
DHW Sys 1	DHW	Standard	DHW Heater 1	1	Annual	Existing	No

WATER HEATERS

01	02	03	04	05	06	07	08
Name	Heater Element Type	Tank Type	Tank Volume (gal)	Energy Factor or Efficiency	Input Rating	Tank Exterior Insulation R-value	Standby Loss (Fraction)
DHW Heater 1	Natural Gas	Small Storage	50	0.575 EF	40000-Btu/hr	0	0

WATER HEATING - HERS VERIFICATION

01	02	03	04	05	06	07
Name	Pipe Insulation	Parallel Piping	Compact Distribution	Point-of-Use	Recirculation with Manual Control	Recirculation with Sensor Control
DHW Sys 1	n/a	n/a	n/a	n/a	n/a	n/a

SPACE CONDITIONING SYSTEMS

01	02	03		04		05	06	07	08	09
		Heating System		Cooling System						
Name	System Type	Name	Ducted	Name	Ducted	Distribution System	Fan System	Floor Area Served	Status	Verified Existing Condition
HVAC System1	Other Heating and Cooling System	Heating Component 1	Yes	Cooling Component 1	Yes	Air Distribution System 1	HVAC Fan 1	3215	Existing	No

HVAC - HEATING SYSTEMS

01	02	03
Name	Type	Efficiency
Heating Component 1	CntrlFurnace - Fuel-fired central furnace	78 AFUE

HVAC - COOLING SYSTEMS

01	02	03	04	05	06	07
		Efficiency				
Name	System Type	EER	SEER	Zonally Controlled	Multi-speed Compressor	HERS Verification
Cooling Component 1	SplitAirCond - Split air conditioning system	11	13	No	No	N/A

HVAC - DISTRIBUTION SYSTEMS

01	02	03	04	05	06	07	08	09	10
Name	Type	Duct Leakage	Insulation R-value	Supply Duct Location	Return Duct Location	Bypass Duct	Status	Verified Existing Condition	HERS Verification
Air Distribution System 1	Ducts located in attic (Ventilated and Unventilated)	Existing (not specified)	6.0	Attic	Attic	None	Existing	No	N/A

IAQ (Indoor Air Quality) FANS

01	02	03	04	05
Name	IAQ CFM	IAQ Fan Type	IAQ Recovery Effectiveness(%)	HERS Verification
SFam IAQVentRpt	0	Default	0	Not Required

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT

1. I certify that this Certificate of Compliance documentation is accurate and complete.

Documentation Author Name: Timothy Carstairs, CEA, HERS, GPR	Documentation Author Signature: [signature]
Company: Carstairs Energy Calculations	Signature Date: 8/9/2016
Address: PO Box 4736	CEA/HERS Certification Identification (If applicable): CABEC California Association of Building Energy Consultants CERTIFIED ENERGY ANALYST Timothy Carstairs
City/State/Zip: San Luis Obispo, CA 93403	Phone: (805) 904-9048

RESPONSIBLE PERSON'S DECLARATION STATEMENT

I certify the following under penalty of perjury, under the laws of the State of California:
1. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design identified on this Certificate of Compliance.
2. I certify that the energy features and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.
3. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.

Responsible Designer Name: Jorge Escamilla	Responsible Designer Signature: Jorge Escamilla
Company: Stitch Studio	Date Signed: December 03, 2016
Address: 4082 Pomona Street	License:
City/State/Zip: Ventura , CA 93003	Phone: 818 523 7201

RESIDENTIAL MEASURES SUMMARY — RMS-1

Project Name	Building Type	Date
Candamil Remodel	☑ Single Family ☐ Addition Alone ☐ Multi Family ☑ Existing+ Addition/Alteration	8/9/2016

Project Address	California Energy Climate Zone	Total Cond. Floor Area	Addition	# of Units
9700 Portanda Drive Whittier	CA Climate Zone 09	3,215	0	1

INSULATION

Construction	Type	Cavity	Area (ft²)	Special Features	Status
Floor	Wood Framed w/Crawl Space	- no insulation	3,215		Existing
Wall	Wood Framed	- no insulation	2,034		Existing
Door	Opaque Door	- no insulation	20		Existing
Roof	Wood Framed Attic	R 30	3,180		Altered

FENESTRATION Total Area: 755 Glazing Percentage: 23.5 % New/Altered Average U-Factor: 0.32

Orientation	Area(ft²)	U-Fac	SHGC	Overhang	Sidefins	Exterior Shades	Status
Front (SW)	108.0	0.320	0.25	none	none	Bug Screen	New
Left (NW)	12.0	0.320	0.25	none	none	Bug Screen	New
Rear (NE)	146.6	0.320	0.25	none	none	Bug Screen	New
Right (SE)	36.0	0.320	0.25	none	none	Bug Screen	New
Left (W)	33.3	0.320	0.25	none	none	Bug Screen	New
Rear (N)	52.9	0.320	0.25	none	none	Bug Screen	New
Right (E)	110.0	0.320	0.25	none	none	Bug Screen	New
Left (N)	117.3	0.320	0.25	none	none	Bug Screen	New
Rear (E)	73.3	0.320	0.25	none	none	Bug Screen	New
Right (S)	30.0	0.320	0.25	none	none	Bug Screen	New
Skylight	8.8	0.320	0.25	none	none	None	New
Skylight	8.8	0.320	0.25	none	none	None	New
Skylight	8.8	0.320	0.25	none	none	None	New
Skylight	8.8	0.320	0.25	none	none	None	New

HVAC SYSTEMS

Qty.	Heating	Min. Eff	Cooling	Min. Eff	Thermostat	Status
1	Central Furnace	78% AFUE	Split Air Conditioner	13.0 SEER	Setback	Existing

HVAC DISTRIBUTION

Location	Heating	Cooling	Duct Location	Duct R-Value	Status
HVAC System	Ducted	Ducted	Attic	6.0	Existing

WATER HEATING

Qty.	Type	Gallons	Min. Eff	Distribution	Status

2013 Low-Rise Residential Mandatory Measures Summary

NOTE: Low-rise residential buildings subject to the Standards must comply with all applicable mandatory measures listed, regardless of the compliance approach used. Exceptions may apply. Review the respective code section for more information.

Building Envelope Measures:	
§110.6(a)1:	Doors and windows between conditioned and unconditioned spaces are manufactured to limit air leakage.
§110.6(a)5:	Fenestration products (except field-fabricated windows) have a label listing the certified U-Factor, certified Solar Heat Gain Coefficient (SHGC), and infiltration that meets the requirements of §10-111(a).
§110.7:	Exterior doors and windows are weatherstripped; all joints and penetrations are caulked and sealed.
§110.8(a):	Insulation specified or installed meets Standards for Insulating Material. Indicate type and include on the CF2R.
§110.8(i):	The thermal emittance and aged solar reflectance values of the cool roofing material meets the requirements of §110.8(i) when the installation of a cool roof is specified on the CF1R.
§110.8(j):	A radiant barrier shall have an emittance of 0.05 or less when the installation of a radiant barrier is specified on the CF1R.
§150.0(a):	Minimum R-30 insulation in wood-frame ceiling; or the weighted average U-factor shall not exceed 0.031. Minimum R-19 in a rafter roof alteration. Attic access doors shall have permanently attached insulation using adhesive or mechanical fasteners. The attic access shall be gasketed to prevent air leakage.
§150.0(b):	Loose fill insulation shall conform with manufacturer's installed design labeled R-value.
§150.0(c):	Minimum R-13 insulation in 2x4 inch wood framing wall or have a U-factor of 0.102 or less (R-19 in 2x6 or 0.074 maximum U-factor).
§150.0(d):	Minimum R-19 insulation in raised wood-frame floor or 0.037 maximum U-factor.
§150.0(g)1:	In Climate Zones 14 and 16 a Class II vapor retarder shall be installed on the conditioned space side of all insulation in all exterior walls, vented attics and unvented attics with air-permeable insulation.
§150.0(g)2:	In Climate Zones 1-16 with unvented crawl spaces the earth floor of the crawl space shall be covered with a Class I or Class II vapor retarder.
§150.0(g)3:	In a building having a controlled ventilation crawl space, a Class I or Class II vapor retarder shall be placed over the earth floor of the crawl space to reduce moisture entry and protect insulation from condensation, as specified in the exception to Section 150.0(d).
§150.0(l):	Slab edge insulation shall: have a water absorption rate, for the insulation material alone without facings, no greater than 0.3%; have water vapor permeance rate is no greater than 2.0 perm/inch, be protected from physical damage and UV light deterioration; and when installed as part of a heated slab floor meets the requirements of §110.8(g).
§150.0(q):	Fenestration, including skylights, separating conditioned space from unconditioned space or outdoors shall have a maximum U-factor of 0.58; or the weighted average U-factor of all fenestration shall not exceed 0.58.
Fireplaces, Decorative Gas Appliances and Gas Log Measures:	
§150.0(e)1A:	Masonry or factory-built fireplaces have a closable metal or glass door covering the entire opening of the firebox.
§150.0(e)1B:	Masonry or factory-built fireplaces have a combustion outside air intake, which is at least six square inches in area and is equipped with a readily accessible, operable, and tight-fitting damper or a combustion-air control device.
§150.0(e)1C:	Masonry or factory-built fireplaces have a flue damper with a readily accessible control.
§150.0(e)2:	Continuous burning pilot lights and the use of indoor air for cooling a firebox jacket, when that indoor air is vented to the outside of the building, are prohibited.
Space Conditioning, Water Heating and Plumbing System Measures:	
§110.0-§110.3:	HVAC equipment, water heaters, showerheads, faucets and all other regulated appliances are certified to the Energy Commission.
§110.3(c)5:	Water heating recirculation loops serving multiple dwelling units meet the air release valve, backflow prevention, pump isolation valve, and recirculation loop connection requirements of §110.3(c)5.
§110.5:	Continuously burning pilot lights are prohibited for natural gas: fan-type central furnaces, household cooking appliances (appliances without an electrical supply voltage connection with pilot lights that consume less than 150 Btu/hr are exempt), and pool and spa heaters.
§150.0(h)1:	Heating and/or cooling loads are calculated in accordance with ASHRAE, SMACNA or ACCA using design conditions specified in §150.0(h)2.
§150.0(h)3A:	Installed air conditioner and heat pump outdoor condensing units shall have a clearance of at least five feet from the outlet of any dryer vent.
§150.0(i):	Heating systems are equipped with thermostats that meet the setback requirements of §110.2(c).
§150.0(j)1A:	Storage gas water heaters with an energy factor equal to or less than the federal minimum standards shall be externally wrapped with insulation having an installed thermal resistance of R-12 or greater.
§150.0(j)1B:	Unfired hot water tanks, such as storage tanks and backup storage tanks for solar water-heating systems, have R-12 external insulation or R-16 internal insulation where the internal insulation R-value is indicated on the exterior of the tank.
§150.0(j)2A:	For domestic hot water system piping, whether buried or unburied: the first 5 feet of hot and cold water pipes from the storage tank, all piping with a nominal diameter of 3/4 inch or larger, all piping associated with a domestic hot water recirculation system regardless of the pipe diameter, piping from the heating source to storage tank or between tanks, piping buried below grade, and all hot water pipes from the heating source to kitchen fixtures must be insulated according to the requirements of TABLE 120.3-A.
§150.0(j)2B:	All domestic hot water pipes that are buried below grade must be installed in a water proof and non-crushable casing or sleeve that allows for installation, removal, and replacement of the enclosed pipe and insulation.

2013 Low-Rise Residential Mandatory Measures Summary

§150.0(j)2C:	Pipe for cooling system lines shall be insulated as specified in §150.0(j)2A. Piping insulation for steam and hydronic heating systems or hot water systems with pressure > 15 psig shall meet the requirements in TABLE 120.3-A.
§150.0(j)3:	Insulation is protected from damage, including that due to sunlight, moisture, equipment maintenance, and wind.
§150.0(j)3A:	Insulation exposed to weather shall either be rated for outdoor use or installed with a cover suitable for outdoor service. For example, protected by aluminum, sheet metal, painted canvas, or plastic cover. Cellular foam insulation protected as specified or painted with coating that is water retardant and provides shielding from solar radiation that degrades the material.
§150.0(j)3B:	Insulation covering chilled water piping and refrigerant suction piping located outside the conditioned space shall have a Class I or Class II vapor retarding facing, or the insulation shall be installed at the thickness that qualifies as a Class I or Class II vapor retarder.
§150.0(n)1:	Systems using gas or propane water heaters to serve individual dwelling units shall include: a 120V electrical receptacle within 3 feet of the water heater; a Category III or IV vent, or a Type B vent with straight pipe between the outside termination and the space where the water heater is installed; a condensate drain that is no more than 2 inches higher than the base of the installed water heater, and allows natural draining without pump assistance; and a gas supply line with a capacity of at least 200,000 Btu/hr.
§150.0(n)2:	Recirculating loops serving multiple dwelling units shall meet the requirements of §110.3(c)5.
§150.0(n)3:	Solar water-heating systems and collectors shall be certified and rated by the Solar Rating and Certification Corporation (SRCC) or by a testing agency approved by the Executive Director.
Ducts and Fans Measures:	
§150.0(m)1:	All air-distribution system ducts and plenums installed are sealed and insulated to meet the requirements of CMC §601.0, §602.0, §603.0, §604.0, §605.0 and ANSI/SMACNA-006-2006 HVAC Duct Construction Standards Metal and Flexible 3rd Edition. Supply-air and return-air ducts and plenums are insulated to a minimum installed level of R-6.0 (or higher if required by CMC §605.0) or enclosed entirely in directly conditioned space as confirmed through field verification and diagnostic testing (RA3.1.4.3.8). Connections of metal ducts and inner core of flexible ducts are mechanically fastened. Openings shall be sealed with mastic, tape, or other duct-closure system that meets the applicable requirements of UL 181, UL 181A, or UL 181B or aerosol sealant that meets the requirements of UL 723. If mastic or tape is used to seal openings greater than ¼ inch, the combination of mastic and either mesh or tape shall be used. Building cavities, support platforms for air handlers, and plenums defined or constructed with materials other than sealed sheet metal, duct board or flexible duct shall not be used for conveying conditioned air. Building cavities and support platforms may contain ducts. Ducts installed in cavities and support platforms shall not be compressed to cause reductions in the cross-sectional area of the ducts.
§150.0(m)2:	Factory-Fabricated Duct Systems shall comply with specified requirements for duct construction, connections, and closures; joints and seams of duct systems and their components shall not be sealed with cloth back rubber adhesive duct tapes unless such tape is used in combination with mastic and draw bands.
§150.0(m)3-6:	Field-Fabricated Duct Systems shall comply with requirements for: pressure-sensitive tapes, mastics, sealants, and other requirements specified for duct construction; duct insulation R-value ratings; duct insulation thickness; and duct labeling.
§150.0(m)7:	All fan systems that exchange air between the conditioned space and the outside of the building must have backdraft or automatic dampers.
§150.0(m)8:	Gravity ventilating systems serving conditioned space have either automatic or readily accessible, manually operated dampers except combustion inlet and outlet air openings and elevator shaft vents.
§150.0(m)9:	Insulation shall be protected from damage, including that due to sunlight, moisture, equipment maintenance, and wind but not limited to the following: insulation exposed to weather shall be suitable for outdoor service. For example, protected by aluminum, sheet metal, painted canvas, or plastic cover. Cellular foam insulation shall be protected as above or painted with a coating that is water retardant and provides shielding from solar radiation.
§150.0(m)10:	Flexible ducts cannot have porous inner cores.
§150.0(m)11:	When space conditioning systems use forced air duct systems to supply conditioned air to an occupiable space, the ducts shall be sealed and duct leakage tested, as confirmed through field verification and diagnostic testing, in accordance with Reference Residential Appendix RA3.
§150.0(m)12:	Mechanical systems that supply air to an occupiable space through ductwork exceeding 10 feet in length and through a thermal conditioning component, except evaporative coolers, shall be provided with air filter devices that meet the requirements of §150.0(m)12.
§150.0(m)13:	Space conditioning systems that utilize forced air ducts to supply cooling to an occupiable space shall have a hole for the placement of a static pressure probe (HSPP), or a permanently installed static pressure probe (PSPP) in the supply plenum. The space conditioning system must also demonstrate airflow ≥ 350 CFM per ton of nominal cooling capacity through the return grilles, and an air-handling unit fan efficacy ≤ 0.58 W/CFM as confirmed by field verification and diagnostic testing, in accordance with Reference Residential Appendix RA3.
§150.0(m)15:	Zonally controlled central forced air cooling systems shall be capable of simultaneously delivering, in every zonal control mode, an airflow from the dwelling, through the air handler fan and delivered to the dwelling, of ≥ 350 CFM per ton of nominal cooling capacity, and operating at an air-handling unit fan efficacy of ≤ 0.58 W/CFM as confirmed by field verification and diagnostic testing, in accordance with Reference Residential Appendix RA3.
§150.0(o):	All dwelling units shall meet the requirements of ASHRAE Standard 62.2. Neither window operation nor continuous operation of central forced air system air handlers used in central fan integrated ventilation systems are permissible methods of providing the Whole Building Ventilation.
§150.0(o)1A:	Whole Building Ventilation airflow shall be confirmed through field verification and diagnostic testing, in accordance with Reference Residential Appendix RA3.
Pool and Spa Heating Systems and Equipment Measures:	
§110.4(a):	Any pool or spa heating system shall be certified to have: a thermal efficiency that complies with the Appliance Efficiency Regulations; an on-off switch mounted outside of the heater that allows shutting off the heater without adjusting the thermostat setting; a permanent weatherproof plate or card with operating instructions; and shall not use electric resistance heating.

2013 Low-Rise Residential Mandatory Measures Summary

§110.4(b)1:	Any pool or spa heating equipment shall be installed with at least 36 inches of pipe between filter and heater or dedicated suction and return lines, or built-up connections for future solar heating.
§110.4(b)2:	Outdoor pools or spas that have a heat pump or gas heater shall have a cover.
§110.4(b)3:	Pools shall have directional inlets that adequately mix the pool water, and a time switch that will allow all pumps to be set or programmed to run only during off-peak electric demand periods.
§110.5:	Natural gas pool and spa heaters shall not have a continuous burning pilot light.
§150.0(p):	Residential pool systems or equipment shall meet specified pump sizing, flow rate, piping, filters, and valve requirements.
Lighting Measures:	
§110.9:	All lighting control devices and systems, ballasts, and luminaires shall meet the applicable requirements of §110.9.
§150.0(k)1A:	Installed luminaires shall be classified as high-efficacy or low-efficacy for compliance with §150.0(k) in accordance with TABLE 150.0-A or TABLE 150.0-B, as applicable.
§150.0(k)1B:	When a high efficacy and low efficacy lighting system are combined in a single luminaire, each system shall separately comply with the applicable provisions of §150.0(k).
§150.0(k)1C:	The wattage and classification of permanently installed luminaires in residential kitchens shall be determined in accordance with §130.0(c). In residential kitchens, the wattage of electrical boxes finished with a blank cover or where no electrical equipment has been installed, and where the electrical box can be used for a luminaire or a surface mounted ceiling fan, shall be calculated as 180 watts of low efficacy lighting per electrical box.
§150.0(k)1D:	Ballasts for fluorescent lamps rated 13 watts or greater shall be electronic and shall have an output frequency no less than 20 kHz.
§150.0(k)1E:	Permanently installed night lights and night lights integral to installed luminaires or exhaust fans shall be rated to consume no more than 5 watts of power per luminaire or exhaust fan as determined in accordance with §130.0(c). Night lights do not need to be controlled by vacancy sensors.
§150.0(k)1F:	Lighting integral to exhaust fans (except when installed by the manufacturer in kitchen exhaust hoods) shall meet the applicable requirements of §150.0(k).
§150.0(k)2A:	High efficacy luminaires must be switched separately from low efficacy luminaires.
§150.0(k)2B:	Exhaust fans shall be switched separately from lighting systems.
§150.0(k)2C:	Luminaires shall be switched with readily accessible controls that permit the luminaires to be manually switched ON and OFF.
§150.0(k)2D:	Controls and equipment are installed in accordance with manufacturer's instructions.
§150.0(k)2E:	No control shall bypass a dimmer or vacancy sensor function if the control is installed to comply with §150.0(k).
§150.0(k)2F:	Lighting controls comply with applicable requirements of §110.9.
§150.0(k)2G:	An Energy Management Control System (EMCS) may be used to comply with dimmer requirements if: it functions as a dimmer according to §110.9; meets Installation Certificate requirements of §130.4; the EMCS requirements of §130.5; and all other requirements in §150.0(k)2.
§150.0(k)2H:	An Energy Management Control System (EMCS) may be used to comply with vacancy sensor requirements of §150.0(k) if: it functions as a vacancy sensor according to §110.9; meets Installation Certificate requirements of §130.4; the EMCS requirements of §130.5; and all other requirements in §150.0(k)2.
§150.0(k)2I:	A multiscene programmable controller may be used to comply with dimmer requirements of this section if it provides the functionality of a dimmer according to §110.9, and complies with all other applicable requirements in §150.0(k)2.
§150.0(k)3A:	A minimum of 50 percent of the total rated wattage of permanently installed lighting in kitchens shall be high efficacy.
§150.0(k)3B:	Kitchen lighting includes all permanently installed lighting in the kitchen except internal lighting in cabinets that illuminate only the inside of the cabinets. Lighting in areas adjacent to the kitchen, including but not limited to dining and nook areas, are considered kitchen lighting if they are not separately switched from kitchen lighting.
§150.0(k)4:	Permanently installed lighting that is internal to cabinets shall use no more than 20 watts of power per linear foot of illuminated cabinet.
§150.0(k)5:	A minimum of one high efficacy luminaire shall be installed in each bathroom; and all other lighting installed in each bathroom shall be high efficacy or controlled by vacancy sensors.
§150.0(k)6:	Lighting installed in attached and detached garages, laundry rooms, and utility rooms shall be high efficacy luminaires and controlled by vacancy sensors.
§150.0(k)7:	Lighting installed in rooms or areas other than in kitchens, bathrooms, garages, laundry rooms, and utility rooms shall be high efficacy, or shall be controlled by either dimmers or vacancy sensors.
§150.0(k)8:	Luminaires recessed into ceilings shall: be listed for zero clearance insulation contact (IC) by Underwriters Laboratories or other nationally recognized testing/rating laboratory; have a label that certifies that the luminaire is airtight with air leakage less than 2.0 CFM at 75 Pascals when tested in accordance with ASTM E283; be sealed with a gasket or caulk between the luminaire housing and ceiling, and shall have all air leak paths between conditioned and unconditioned spaces sealed with a gasket or caulk; and allow ballast maintenance and replacement without requiring cutting holes in the ceiling. For recessed compact fluorescent luminaries with ballasts to qualify as high efficacy for compliance with §150.0(k), the ballasts shall be certified to the Energy Commission to comply with the applicable requirements in §110.9.
§150.0(k)9A:	For single-family residential buildings, outdoor lighting permanently mounted to a residential building or other buildings on the same lot shall be high efficacy, or may be low efficacy if it meets all of the following requirements: i. Controlled by a manual ON and OFF switch that does not override to ON the automatic actions of Items ii or iii below; and ii. Controlled by a motion sensor not having an override or bypass switch that disables the motion sensor, or controlled by a motion sensor having a temporary override switch which temporarily bypasses the motion sensing function and automatically reactivates the motion sensor within 6 hours; and iii. Controlled by one of the following methods:

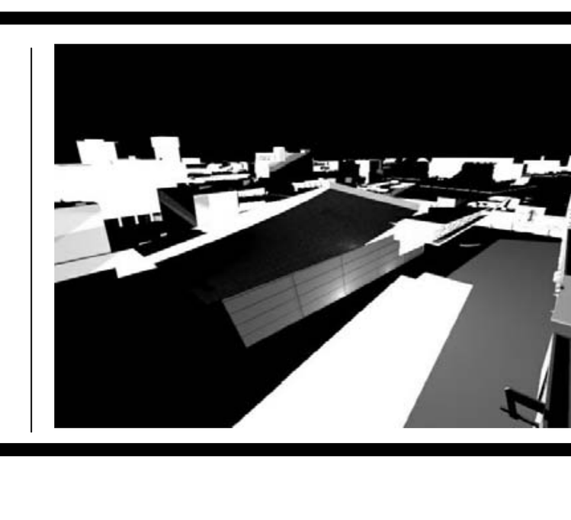
2013 Low-Rise Residential Mandatory Measures Summary

	a. Photocontrol not having an override or bypass switch that disables the photocontrol; or b. Astronomical time clock not having an override or bypass switch that disables the astronomical time clock, and which is programmed to automatically turn the outdoor lighting OFF during daylight hours; or c. Energy management control system which meets all of the following requirements: At a minimum provides the functionality of an astronomical time clock in accordance with §110.9; meets the Installation Certification requirements in §130.4; meets the requirements for an EMCS in §130.5; does not have an override or bypass switch that allows the luminaire to be always ON; and, is programmed to automatically turn the outdoor lighting OFF during daylight hours.
§150.0(k)9B:	For low-rise multifamily residential buildings, outdoor lighting for private patios, entrances, balconies, and porches; and outdoor lighting for residential parking lots and residential carports with less than eight vehicles per site shall comply with one of the following requirements: i. Shall comply with §150.0(k)9A; or ii. Shall comply with the applicable requirements in §110.9, §130.0, §130.2, §130.4, §140.7 and §141.0.
§150.0(k)9C:	For low-rise residential buildings with four or more dwelling units, outdoor lighting not regulated by §150.0(k)9B or 150.0(k)9D shall comply with the applicable requirements in §110.9, §130.0, §130.2, §130.4, §140.7 and §141.0.
§150.0(k)9D:	Outdoor lighting for residential parking lots and residential carports with a total of eight or more vehicles per site shall comply with the applicable requirements in §110.9, §130.0, §130.2, §130.4, §140.7 and §141.0.
§150.0(k)10:	Internally illuminated address signs shall comply with §140.8; or shall consume no more than 5 watts of power as determined according to §130.0(c).
§150.0(k)11:	Lighting for residential parking garages for eight or more vehicles shall comply with the applicable requirements for nonresidential garages in §110.9, §130.0, §130.1, §130.4, §140.6, and §141.0.
§150.0(k)12A:	In a low-rise multifamily residential building where the total interior common area in a single building equals 20 percent or less of the floor area, permanently installed lighting for the interior common areas in that building shall be high efficacy luminaires or controlled by an occupant sensor.
§150.0(k)12B:	In a low-rise multifamily residential building where the total interior common area in a single building equals more than 20 percent of the floor area, permanently installed lighting in that building shall: i. Comply with the applicable requirements in §110.9, §130.0, §130.1, §140.6 and §141.0; and ii. Lighting installed in corridors and stairwells shall be controlled by occupant sensors that reduce the lighting power in each space by at least 50 percent. The occupant sensors shall be capable of turning the light fully On and Off from all designed paths of ingress and egress.
Solar Ready Buildings:	
§110.10(a)1:	Single family residences located in subdivisions with ten or more single family residences and where the application for a tentative subdivision map for the residences has been deemed complete, by the enforcement agency, on or after January 1, 2014, shall comply with the requirements of §110.10(b) through §110.10(e).
§110.10(a)2:	Low-rise multi-family buildings shall comply with the requirements of §110.10(b) through §110.10(d).
§110.10(b)1:	The solar zone shall have a minimum total area as described below. The solar zone shall comply with access, pathway, smoke ventilation, and spacing requirements as specified in Title 24, Part 9 or other Parts of Title 24 or in any requirements adopted by a local jurisdiction. The solar zone total area shall be comprised of areas that have no dimension less than 5 feet and are no less than 80 square feet each for buildings with roof areas less than or equal to 10,000 square feet or no less than 160 square feet each for buildings with roof areas greater than 10,000 square feet. For single family residences the solar zone shall be located on the roof or overhang of the building and have a total area no less than 250 square feet. For low-rise multi-family buildings the solar zone shall be located on the roof or overhang of the building or on the roof or overhang of another structure located within 250 feet of the building or on covered parking installed with the building project and have a total area no less than 15 percent of the total roof area of the building excluding any skylight area.
§110.10(b)2:	All sections of the solar zone located on steep-sloped roofs shall be oriented between 110 degrees and 270 degrees of true north.
§110.10(b)3A:	No obstructions, including but not limited to, vents, chimneys, architectural features, and roof mounted equipment, shall be located in the solar zone.
§110.10(b)3B:	Any obstruction, located on the roof or any other part of the building that projects above a solar zone shall be located at least twice the distance, measured in the horizontal plane, of the height difference between the highest point of the obstruction and the horizontal projection of the nearest point of the solar zone, measured in the vertical plane.
§110.10(b)4:	For areas of the roof designated as solar zone, the structural design loads for roof dead load and roof live load shall be clearly indicated on the construction documents.
§110.10(c):	The construction documents shall indicate: a location for inverters and metering equipment and a pathway for routing of conduit from the solar zone to the point of interconnection with the electrical service (for single family residences the point of interconnection will be the main service panel); a pathway for routing of plumbing from the solar zone to the water-heating system.
§110.10(d):	A copy of the construction documents or a comparable document indicating the information from §110.10(b) through §110.10(c) shall be provided to the occupant.
§110.10(e)1:	The main electrical service panel shall have a minimum busbar rating of 200 amps.
§110.10(e)2:	The main electrical service panel shall have a reserved space to allow for the installation of a double pole circuit breaker for a future solar electric installation. The reserved space shall be: positioned at the opposite (load) end from the input feeder location or main circuit location, and permanently marked as "For Future Solar Electric".

No.	Description	Date
2	2nd Plan Check	04/10/17

Project number	Project Number
Date	Issue Date
Drawn by	Author
Checked by	Checker

Consultant
Address
Address
Phone
Fax
e-mail



STITCH STUDIO

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CANDAMIL RESIDENCE

Remodel to Existing Single Family Dwelling

9700 Portada Drive, Whittier, CA

ENERGY CALCULATIONS

2

.G201

Scale 12" = 1'-0"

4/11/2017 10:32:37 AM

1 Site Plan
1/16" = 1'-0"

00 Keynote Legend

Key Value	Keynote Text
1	Protect in place existing mature trees.
2	Protect in place existing lawn area and corresponding irrigation system. Relocate and reconfigure existing sprinkler system as needed.
3	Building setbacks, Typical.
4	Property lines, typical.
5	Protect in place existing curb and gutter at City's right of way.
6	Remove and recompact existing asphalt paving, replace with CIP concrete slab, add control joints as per concrete standard.
7	Remove and discard existing exterior wall assembly and attached fenestrations as needed, shoring of existing roof shall be installed prior to the removal of existing load bering walls, shoring and brace walls as neededin order to accommodate the proposed building configuration, refer to waste management guidelines for disposal guidelines for proper waste disposal.
8	Existing site perimeter fencing to be protected during the construction phase.
9	Area of proposed addition.
10	Existing Mature trees, protect during contruction phase.
11	Existing porch to be removed.
12	Infill existing pool using local jurisdiction standards, All fill material shall be compacted to a minimum of 90 percent of maximum density as determined by ASTM D 1557, Modified Proctor, in lifts not exceeding 12 inches (0.3 m) in depth within 40 feet (12.2 m) below finished grade and 93 percent of maximum dry density deeper than 40 feet (12.2 m) below finished grade, unless a lower relative compaction (not less than 90 percent of maximum dry density) is justified by the Geotechnical Engineer and approved by the Building Official. Where ASTM D 1557, Modified Proctor is not applicable, a test acceptable to the Building Official shall be used Field density shall be determined by a method .
13	New electrical meter location, Due to the numerous electrical service panel configurations, customers are recommended to contact the local Service Planning Office for details, or contact SCE's EV information hotline at (800) 366-7766.
14	A disconnecting means with overcurrent protection is required at the meter location. In some cases, it is a single switch or circuit breaker. In other cases, where permitted by the Company and by inspection authorities, it may be a group of switches or circuit breakers, per National Electrical Code (NEC) 230–71.
15	Relocate existing under ground electrical main line in order to accommodate the new electrical meter location, installed using Edison Standards, Pull Box Refer to ESR-3, for Pull Box Requirements UG Service Entrance, All installations on the customer's premises are made by the customer. Installations of service conduit and its appurtenant structures for service from an overhead line source, both on and off the customer's premises, are made by the customer, under the conditions specified for Section 6, Underground Service Connections_Electrical Service Requirements sheets ESR-3 SCE .
16	Where lot lines, walls, slopes or other physical barriers prohibit 6 inches of fall within 10 feet, International Residential Code-RB125, the final grade shall slope away from the foundation at a minimum slope of 2 percent and the water shall be directed to drains or swales to ensure drainage away from the structure, Swales shall be sloped a minimum of 2 percent when located within 10 feet of the building foundation, Impervious surfaces within 10 feet of the building foundation shall be sloped a minimum of 2 percent away from the building.
17	Protect in place exist 2' high retainig wall and concrete deck, repair as needed.
18	Existing Fire Hydrant location.

G G Gas Meter
E E Electrical Panel
S S B Backflow Preventer
W W Water Meter
P Power Pole
Dense Landscape - Succulents
(E) Neighboring Residence
HB House Bibb, refurbished existing bibbs as needed. 2

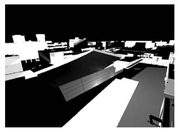
WASTE MANAGEMENT REQUIREMENTS

- Owner requires that this project generate the least amount of trash and waste possible.
- Employ processes that ensure the generation of as little waste as possible due to error, poor planning, breakage, mishandling, contamination, or other factors.
- Minimize trash/waste disposal in landfills; reuse, salvage, or recycle as much waste as economically feasible.
- Owner may decide to pay for additional recycling, salvage, and/or reuse based on Landfill Alternatives Proposal specified below.
- Required Recycling, Salvage, and Reuse: The following may not be disposed of in landfills or by incineration:
- Aluminum and plastic beverage containers.
- Corrugated cardboard.
- Wood pallets.
- Clean dimensional wood: May be used as blocking or furring.
- Land clearing debris, including brush, branches, logs, and stumps; see Section 31 1000 -Site Clearing for use options.
- Concrete: May be crushed and used as riprap, aggregate, sub-base material, or fill.
- Bricks: May be used on project if whole, or crushed and used as landscape cover,sub-base material, or fill.
- Concrete masonry units: May be used on project if whole, or crushed and used assub-base material or fill.
- Precast concrete panels: May be used for erosion control or landscape features.
- Asphalt paving: May be recycled into paving for project.
- Metals, including packaging banding, metal studs, sheet metal, structural steel, piping,reinforcing bars, door frames, and other items made of steel, iron, galvanized steel,stainless steel, aluminum, copper, zinc, lead, brass, and bronze.
- Glass.
- Gypsum drywall and plaster.
- Plastic buckets.
- Carpet, carpet cushion, carpet tile, and carpet remnants, both new and removed: DuPont(http://flooring.dupont.com) and Interface (www.interfaceinc.com) conduct reclamationprograms.
- Asphalt roofing shingles.
- Paint.18. Plastic sheeting.
- Rigid foam insulation.
- Vinyl siding.
- Windows, doors, and door hardware.
- Plumbing fixtures.
- Mechanical and electrical equipment.
- Fluorescent lamps (light bulbs).
- Acoustical ceiling tile and panels.

No.	Description	Date
2	2nd Plan Check	04/10/17

Project number Project Number
Date Issue Date
Drawn by Author
Checked by Checker

Consultant
Address
Address
Phone
Fax
e-mail



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CANDAMIL RESIDENCE

Remodel to Existing Single Family Dwelling

9700 Portada Drive, Whittier, CA

SITE PLAN

A101

Scale As indicated

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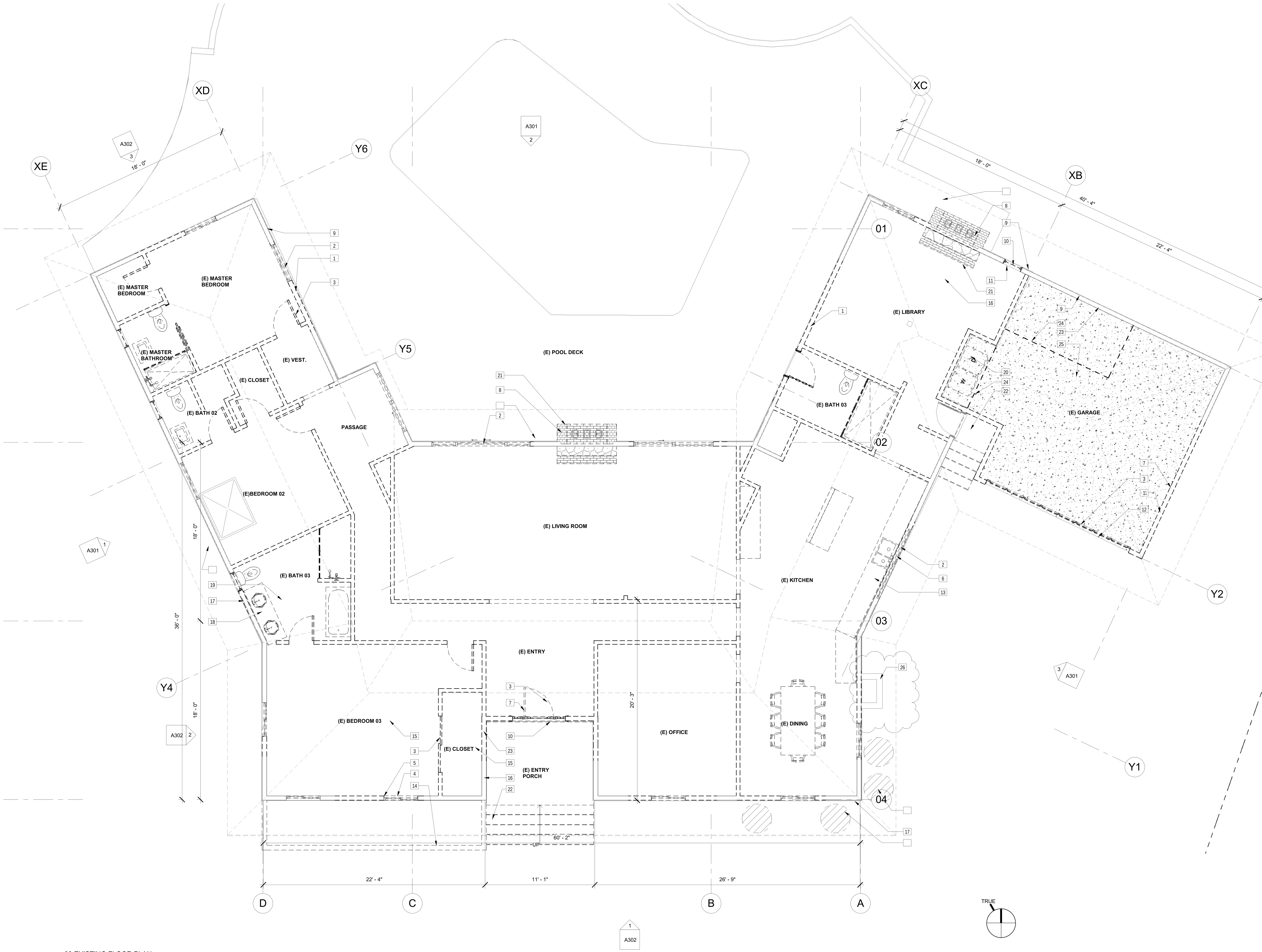

1 00 EXISTING FLOOR PLAN
1/4" = 1'-0"

00 Keynote Legend

Key Value	Keynote Text
1	Remove and discard existing exterior wall assembly..
2	Remove and discard existing fenestrations in order to accommodate the proposed improvements.
3	Remove and discard existing door and corresponding framing.
4	Remove and discard existing window system and corresponding framing.
5	Remove and relocate roof stack vents as per proposed roof configuration.
6	Protect in place existing interior spaces.
7	Remove and discard existing exterior wall assembly and attached fenestrations as needed, shoring of existing roof shall be installed prior to the removal of existing load bering walls, shoring and brace walls as neededin order to accommodate the proposed building configuration, refer to waste management guidelines for disposal guidelines for proper waste disposal.
8	Remove and discard existing fireplace and chiminey in its entirity, cap and disconnect gaslines in order to accommodate the proposed improvements.
9	Protect in place existing exterior wall assembly.
10	All cutting and patching in the existing building shall be done by the contractor, to provide for exterior load bearing walls and new roof configuration.
11	Infill existing window opening in order to accommodate the proposed improvements.
12	Saw cut existing slab in order to accommodate the proposed footings and slab at proposed garage improvements, coordinate with structural foundation plan.
13	Remove and discard existing casework, base cabinets, counter top and kitchen sink along with upper cabinets, remove damage gyp board, add water-proofing in order to accommodate the proposed kitchen layout.
14	Remove and discard existing planter wall and existing planting, new planter configuration shall be flushed with existing pavement at existing driveway elevation, refer to floor plan for additional information.
15	Protect in place existing flooring and substructure.
16	Contractor shall verify existing conditions at the site and examine adjoining work, identify what will affect the completion of this work, the designer shall be notified in writing should the contractor have questions as to existing condition that will affect the work.
17	Sawcut existing exterior plaster system at base location inorder to accommodate the proposed stone veneer wainscout, refer to exterior elevations for additional information.
18	Remove and discard existing plumbing fixture along with all damange utilities, field verify existing sewer lines, replace and repair all damage water supply and sewer lines.
19	Remove and Replace existing damage sub-flooring, replace and repair any damage sub-flooring framing members, contact designer if structural observations are needed.
20	Remove and discard existing washer and dryer, disconnect all utilities, cap gas lines, water lines and sewer lines, coordinate with floor plan in order to accommodate the proposed laundry room location.
21	Remove existing fire place mantel in order to accommodate the proposed floor finish, refer to floor plan for additional information.
22	Remove and discard existing concrete steps and landing in order to accommodate the proposed garage configuration.
23	Protect in place existing footings.
24	Sawcut, remove and discard the existing conc. slab in order to accommodate the proposed laundry room raised foundation.
25	Protect in place existing floor slab and footings.
26	Protect in place existing sub-flooring crawl space attic access and corresponding panel, field verify existing conditions.

WALL LEGEND

- REMOVE AND DISCARD EXISTING WOOD FRAMED STUD WALLS.
- EXISTING 2 X 4 WOOD FRAMED STUD WALL (INTERIOR), PROTECT FRAMING IN PLACE.

No.	Description	Date
1	1st Plan Check	02/13/17
2	2nd Plan Check	04/10/17

Project number	Project Number
Date	Issue Date
Drawn by	Author
Checked by	Checker

Consultant
Address
Address
Phone
Fax
e-mail

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CANDAMIL RESIDENCE

Remodel to Existing Single Family Dwelling

9700 Portada Drive, Whittier, CA

FIRST FLOOR PLAN (Existing)

A201

Scale 1/4" = 1'-0"

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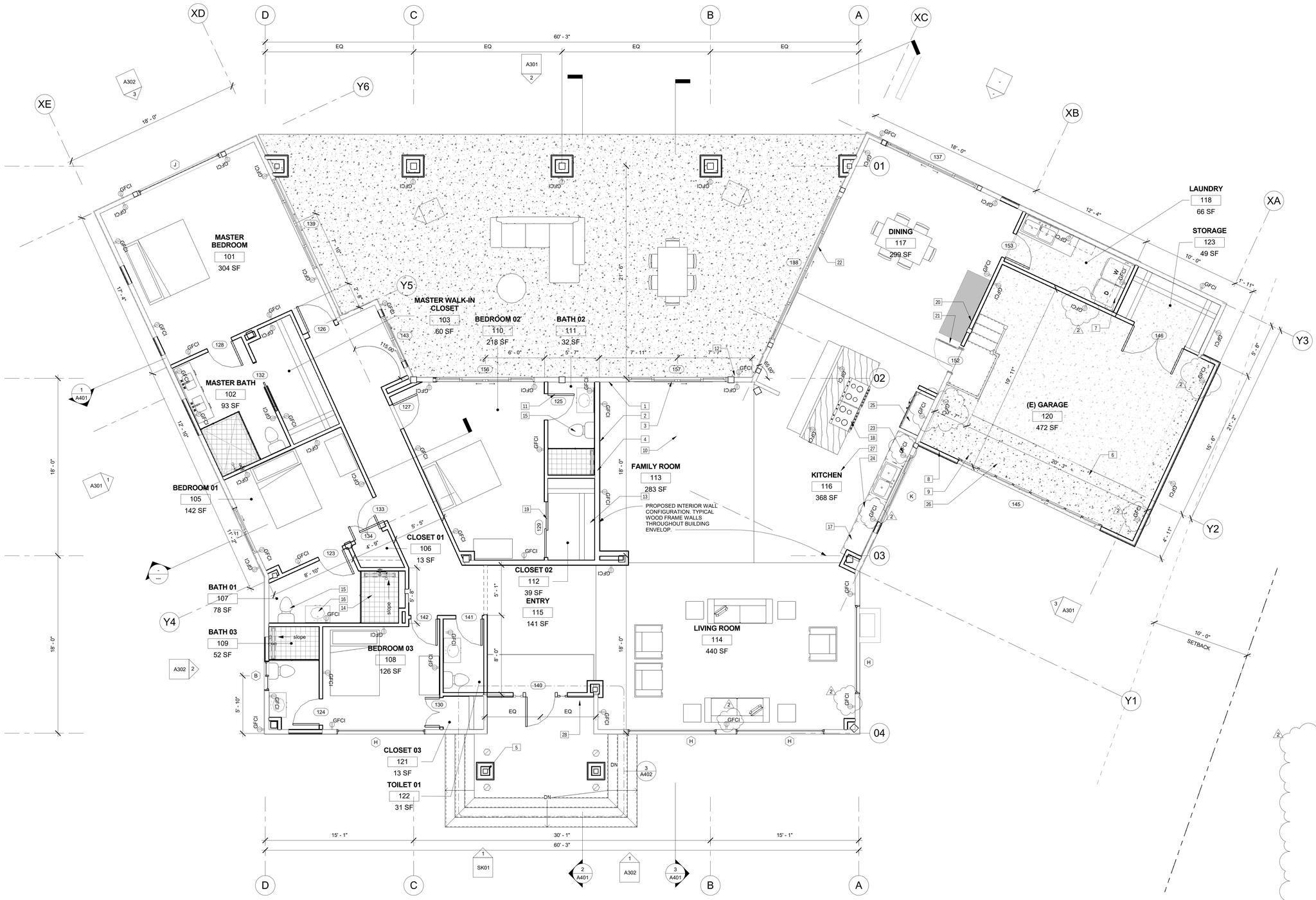


1 PROPOSED FLOOR PLAN
1/4" = 1'-0"

00 Keynote Legend

Key Value	Keynote Text
1	Exterior wall assembly, 2x wood studs at 16 inches on center, insulation as per calculation requirements, exterior plaster over water proofing membrave, interior gypsum board shall be installed as per manufacture installation standards.
2	Interior wall assembly, interior gypsum board shall be installed as per manufacture installation standards, tape and mud to a smooth finish, primed and painted, color to be owner selected, continuous base board installed as per manufacture installation instructions, 4 inch minimum, color and profile to be owner selected.
3	Exterior window assembly. Refer to schedule and window elevations for window configuration.
4	Tile or stone floor finish, installed as per manufacture installation instructions, color, size and pattern are owner selected.
5	Wood post, seal and paint as specifications.
6	Sealed concrete slab on grade, slope towards gearage door, provide 6 inch high curb as indicated on foundation plan.
7	Provide utilities for drying and washing machine along with a drainline for utility sink, 30 inch wide base cabinet along with upper cabinets, provide backing in order to accommodate the cabinets, all case work shall meet the wood working institute standards.
8	Proposed electrical meter and main swith box, installed as per manufacture installation intructions, contact Edison in order to accommodate the power pole connection, owner to select overhead or under ground option.
9	Proposed slab on grade, surface drainage shall be diverted to a storm sewer conveyance or other approved point of collection so as to not creqate a hazard.
10	Finish floor shall be installed over plywood floor sheathing, installed as per manufacture installation instructions, color and flooring type shall be owner selected, provide trims and base boards as needed.
11	Door as per schedule, wood or vynil, installed as per manufacture installation instructions, color and style to be owner selected.
12	Exterior lighting, Mount as per recommended exterior elevation heights.
13	All closets shall have shelving and poles installed as per wood working standards, door shall be installed as per manufacture installation instructions, use medium grade doors and hardware shall have a minimum 5 year limited warranty.
14	American Standard Princeton Reinforced Porcelain Enamel/Metal Oval In Rectangle Skirted Bathtub with Right-Hand Drain (14-in x 30-in x 60-in), installed as per manufacture installation instructions, add full height tiling at surrounding tub walls using water resistant gypsum board, add aluminim door and tracks, water fixtures shall be as per green code standards.
15	Toilets and plumbing fixtures shall be installed as per manufacture installation instructions, refer to flow rate fixtures tables for additional information.
16	Integral Single Sink Bathroom Vanity with Cultured Marble Top (Actual: 30-in x 18_5-in), color and style to be owner selected, faucet shall meet Green code standards.
17	Base cabinets, installed as per manufacture standards and Wood Working Institude Standards.
18	4 burner gas range, intalled as per manufacture installation instructions, coordinate proposed gas line in order to accommodate the propose equipment location, provide GFI power outlet, owner to provide range.
19	Sliding door shall be installed as per manufacture installation instructions, provide flashing, sealer and galvanized pan as needed.
20	Provide Type X gypsum wallboard, 5/8" in thickness, 1 hour assembly gypsum board at garage side, full height, penetrations shall be seal and caulk as per UL 1 hour penetration standards.
21	Provide a new 1 hour rated door and door frame assembly, hardware and self closing closer.
22	Use tempered glazing at Glazing in fixed and sliding panels of sliding door assemblies and panels in sliding and bifold closet door assemblies, in doors and enclosures for hot tubs, whirlpools, saunas, steam rooms, bathtubs and showers, also in any portion of a building wall enclosing these compartments where the bottom exposed edge of the glazing is less than 60 inches above a standing surface, individual fixed or operable panel adjacent to a door where the nearest exposed edge of the glazing is within a 24-inch arc of either vertical edge of the door in a closed position and where the bottom exposed edge of the glazing is less than 60 inches above the walking surface.
23	Over the Range Microwave/fume hood combo with exhaust Fan Maximum Capacity (CFM) 300, provide cabinet over microwave, add exhaust ducting, roof penetration and flashing as needed.
24	Dishwasher, provide water supply line and drain lines as per manufacture installation instructions, add power using GFCI outslet at required mounting heights, add holes and access to adjacent cabinets using wood working standards.
25	Refrigerator, provide power and filter water supply line as per manufacture's installation instructions.
26	Slab on grade, provide 15mil vapor barrier over 2 inches of sand, refer to foundation plan for additional information.
27	Add sub flooring sheathing over floor joist, ledger and blocking as per structural drawings.
28	Persons having ownership or custody of buildings are responsible for posting address numbers,the design, style, and shape of address numbers must render them easily readable from the street. Numbers must contrast with background, In cases where conditions (shadows, overgrown vegetation, building location,etc.) adversely affect the legibility of numbers, the Department has the authority to prescribe larger numbers, Addresses may be required to be posted adjacent to driveways, alleys, walkways, or other access ways.

WALL LEGEND

	REMOVE AND DISCARD EXISTING WOOD FRAMED STUD WALLS.
	EXISTING 2 X 4 WOOD FRAMED STUD WALL (INTERIOR)
	PROPOSED 2 X 4 WOOD FRAMED STUD WALL (INTERIOR)
	1 HOUR RATED WALL ASSEMBLY.
	2 X 6 WOOD STUD FRAMED WALL (INTERIOR)
	2 X 4 WOOD STUD FRAMED WALL (EXTERIOR)
	2 X 4 WOOD STUD WALL (EXTERIOR - 2 SIDED FINISH)
	MANSORY WALL (SEE STRUCTURAL)
	CIP CONCRETE WALL (Refer to Strucural for additional information)

Note:

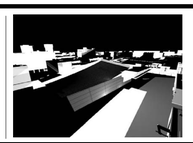
- Interior finish requirements based on group. Interior wall and ceiling finish shall have a flame spread index not greater than that specified in Table 803.9 for the group and location designated. Interior wall and ceiling finish materials tested in accordance with NFP A 286 and meeting the acceptance criteria of Section 803.1.2.1, shall be permitted to be used where a Class A classification in accordance with ASTM E 84 or UL 723 is required.
- TABLE 803.9-INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY (SPRINKLERED IF NEEDED)

No.	Description	Date
1	1st Plan Check	02/13/17
2	2nd Plan Check	04/10/17

Project number
Date
Drawn by
Checked by

Project Number
Issue Date
Author
Checker

Consultant
Address
Address
Phone
Fax
e-mail



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CANDAMIL RESIDENCE

Remodel to Existing Single Family Dwelling

9700 Portada Drive, Whittier, CA

PROPOSED FLOOR PLAN

A202

Scale 1/4" = 1'-0"

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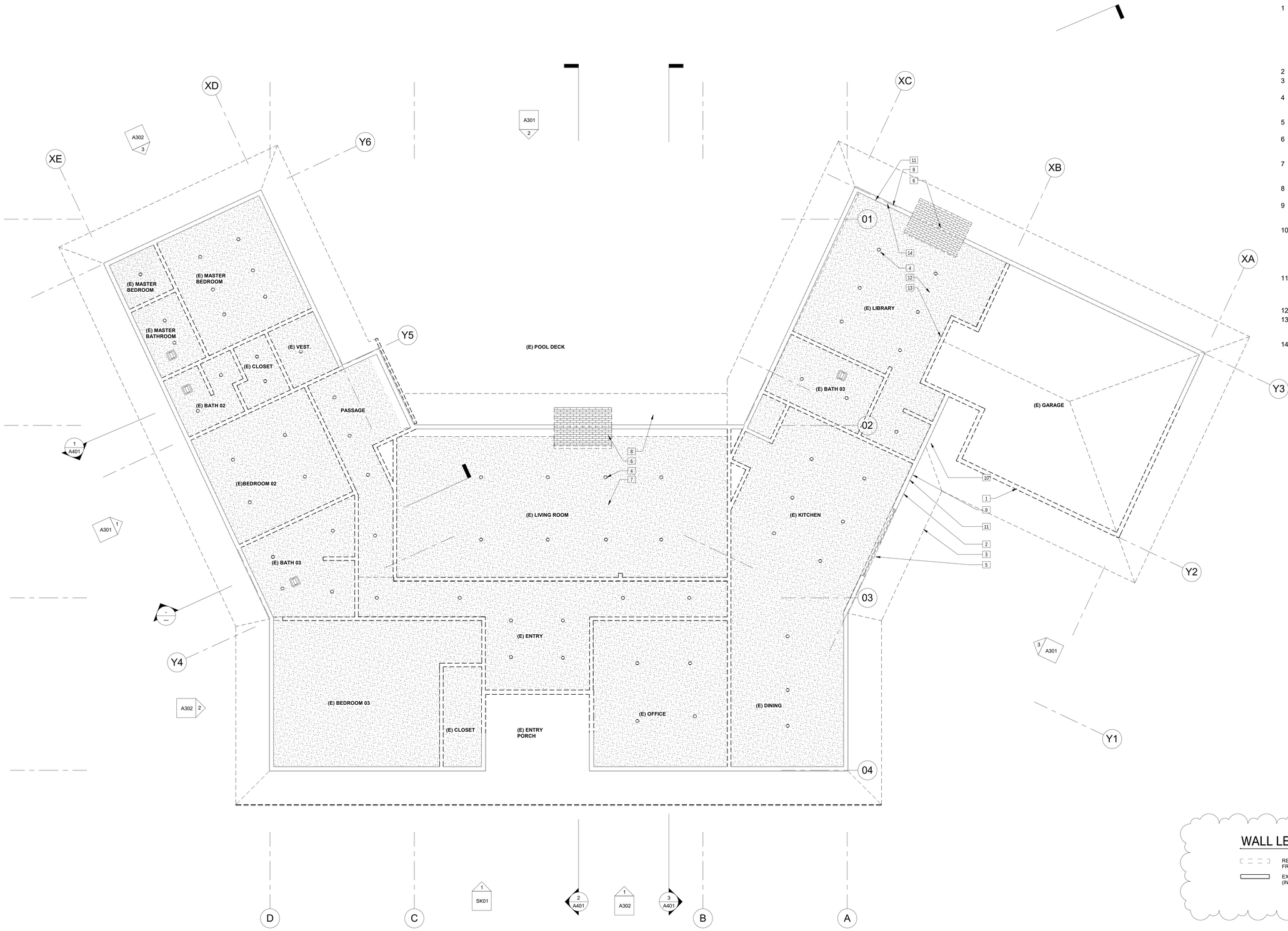


1 00 EXISTING REFLECTED CEILING PLAN
1/4" = 1'-0"

00 Keynote Legend

Key Value	Keynote Text
1	Remove and discard existing exterior wall assembly and attached fenestrations as needed, shoring of existing roof shall be installed prior to the removal of existing load bering walls, shoring and brace walls as neededin order to accommodate the proposed building configuration, refer to waste management guidelines for disposal guidelines for proper waste disposal.
2	Protect in place existing exterior wall assembly.
3	Remove and discard existing eave and overhang in order to accommodate the proposed addition.
4	Remove and discard existing lighting fixtures and corresponding conduit and wiring, refere to new ceiling plan.
5	Remove and discard existing fenestrations in order to accommodate the proposed improvements.
6	Remove existing fire place mantel in order to accommodate the proposed floor finish, refer to floor plan for additional information.
7	Remove and discard existing ceiling and corresponding ceiling joist in order to accommodate the proposed ceiling configuration and room layouts.
8	Remove and discard existing plaster soffits and corresponding 2x framing.
9	All cutting and patching in the existing building shall be done by the contractor, to provide for exterior load bearing walls and new roof configuration.
10	Contractor shall verify existing conditions at the site and examine adjoining work, identify what will affect the completion of this work, the designer shall be notified in writing should the contractor have questions as to existing condition that will affect the work.
11	Protect in place existing electrical overhead line, provide temporary pole if meter is to be replaced, contractor shall be responsible for all local utility company requirements.
12	
13	Remove and discard existing interior partion, shoring and temporary bracing shall be place at all load bearing walls during the construction phase.
14	Remove and relocate existing electrical pole in order to accommodate the proposed door opening.

2

WALL LEGEND

REMOVE AND DISCARD EXISTING WOOD FRAMED STUD WALLS.

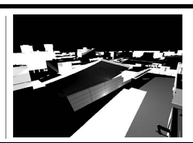
EXISTING 2 X 4 WOOD FRAMED STUD WALL (INTERIOR). PROTECT FRAMING IN PLACE.

No.	Description	Date
2	2nd Plan Check	04/10/17

Project number
Date
Drawn by
Checked by

Project Number
Issue Date
Author
Checker

Consultant
Address
Address
Phone
Fax
e-mail



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CANDAMIL RESIDENCE

Remodel to Existing Single Family Dwelling

9700 Portada Drive, Whittier, CA

EXISTING REFELECTED CEILING PLAN

A203

Scale 1/4" = 1'-0"

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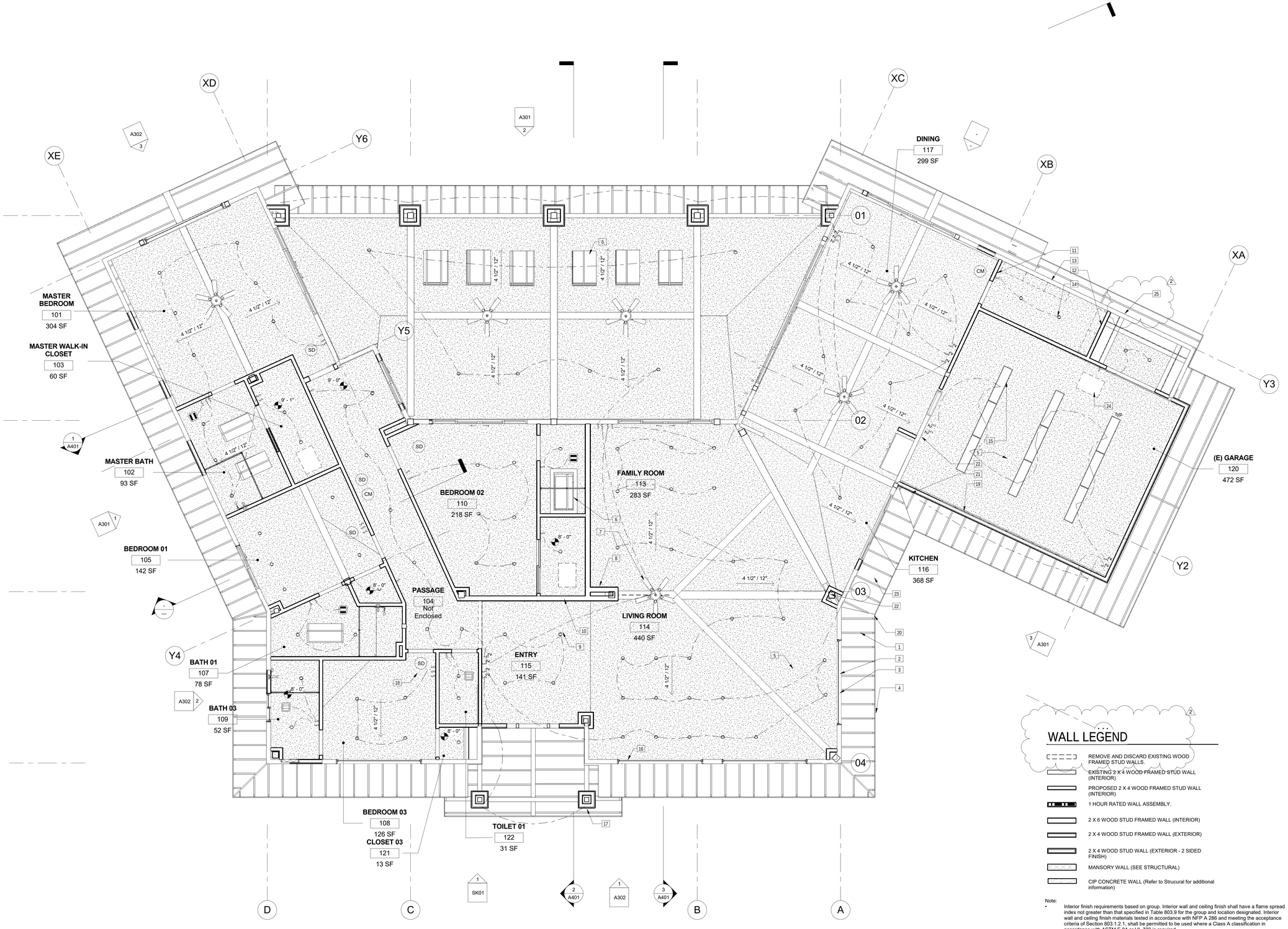


1 PROPOSED REFLECTED CEILING PLAN
1/4" = 1'-0"

00 Keynote Legend

Key Value	Keynote Text
1	Exposed wood decking and rafter tails, prime and paint, color to be owner selected.
2	Protect in place existing exterior wall assembly.
3	Exterior window assembly. Refer to schedule and window elevations for window configuration.
4	22 GA. sheet metal square continuous gutters, color to be owner selected.
5	Gypsum board over 2x ceiling joist, tape and mud, finish to be smooth, primed and paint, owner to select color.
6	Skylight, Installed as per manufacture intalllation instructions, use tempered glazing as per residential code glazing standards, provide skylight framing as per Velux details on sheet A203, painted gypsum board, coordinate with structural framing plans.
7	Ceiling mounted fan, installed as per manufacture installation instructions, mount to ceiling joist using manufacture approved fastners.
8	Lighting control switches, use dimmable switches at all recessed lighting fixtures.
9	Ceiling mounted mechanical return diffuser.
10	Proposed interior wall assembly below.
11	Rated wall assembly.
12	Plumbing wall chase, provide blocking as needed, coordinate with floor plan for fixture location.
13	Exterior wall assembly below.
14	Recessed lighting fixtures, 4 inch Halo Remodel Airtight IC LED Recessed Light Housing or of equal grade, installed as per manufacture installation instruction.
15	Pendant lighting fixtures, add blocking as needed, use manufacture approved mounting fastners, color and style to be owner selected.
16	Fenestrations below as per schedule, refer to floor plan for additional information.
17	Wall mounted Sconces as per reflected ceiling plan.
18	Smoke detector.
19	Roll up garage door shall be mounted to exposed ceiling joist, add tracks and mounting brackets as per manufacture installation instructions, owner to slect motor type and remote control options.
20	Continuous half round gutter, primed and painted using high gloss exterior paint, provide support as per manufacture installation instructions.
21	Downspout to match gutter style and color, installaed as per manufacture installation instruction, fastners shall be installed into plaster walls, protect exterior plaster as suggested by manufacture.
22	Wood Columns as per structural drawings.
23	Exposed roof members. Paint, stain and seal as per specifications.
24	22" x 30", Attic access, installed as per manufacture installation instructions.
25	New electrical meter location, Due to the numerous electrical service panel configurations, customers are recommended to contact the local Service Planning Office for details, or contact SCE's EV information hotline at (800) 366-7766.

REFLECTED CEILING SYMBOLS

- SD — SMOKE DETECTOR HARDWIRED (CRC R314.23, R314 & R315).
- CM — CARBON MONOXIDE ALARM - HARDWIRED (CRC R314.23, R314 & R315).
- EXHAUST FAN (CRC R303.3.1 & CGBC 4.506.1)
- SINGLE POLE SWITCH
- $_2$ — DOUBLE POLE SWITCH
- DUPLEX RECEPTACLE
- GFCI — GROUND FAULT RECEPTACLE
- TEL./DATA OUTLET
- T — THERMOSTAT
- RECESSED LIGHTING FIXTURE
- RECESSED LIGHTING FIXTURE (SQUARE)
- WALL MOUNTED LIGHTING FIXTURE
- SURFACE MOUNTED LIGHTING FIXTURE (SQUARE)
- PENDANT LIGHTING FIXTURE (SQUARE)
- CEILING MOUNTED FAN
- RECESSED FLOURESCENT LIGHTING FIXTURE
- SURFACE MOUNTED FLOURESCENT LIGHTING FIXTURE
- AIR SUPPLY REGISTER
- AIR RETURN REGISTER

WALL LEGEND

- REMOVE AND DISCARD EXISTING WOOD FRAMED STUD WALLS.
- EXISTING 2 X 4 WOOD FRAMED STUD WALL (INTERIOR)
- PROPOSED 2 X 4 WOOD FRAMED STUD WALL (INTERIOR)
- 1 HOUR RATED WALL ASSEMBLY.
- 2 X 6 WOOD STUD FRAMED WALL (INTERIOR)
- 2 X 4 WOOD STUD FRAMED WALL (EXTERIOR)
- 2 X 4 WOOD STUD WALL (EXTERIOR - 2 SIDED FINISH)
- MANSORY WALL (SEE STRUCTURAL)
- CIP CONCRETE WALL (Refer to Strucural for additional information)

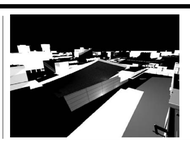
Note:

- Interior finish requirements based on group. Interior wall and ceiling finish shall have a flame spread index not greater than that specified in Table 803.9 for the group and location designated. Interior wall and ceiling finish materials tested in accordance with NFP A 286 and meeting the acceptance criteria of Section 803.1.2.1, shall be permitted to be used where a Class A classification in accordance with ASTM E 84 or UL 723 is required.
- TABLE 803.9-INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY (SPRINKLERED IF NEEDED)

No.	Description	Date
1	1st Plan Check	02/13/17
2	2nd Plan Check	04/10/17

Project number Project Number
Date Issue Date
Drawn by Author
Checked by Checker

Consultant
Address
Address
Phone
Fax
e-mail



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CANDAMIL RESIDENCE

Remodel to Existing Single Family Dwelling

9700 Portada Drive, Whittier, CA

PROPOSED REFLECTED CEILING PLAN

A204

Scale 1/4" = 1'-0"

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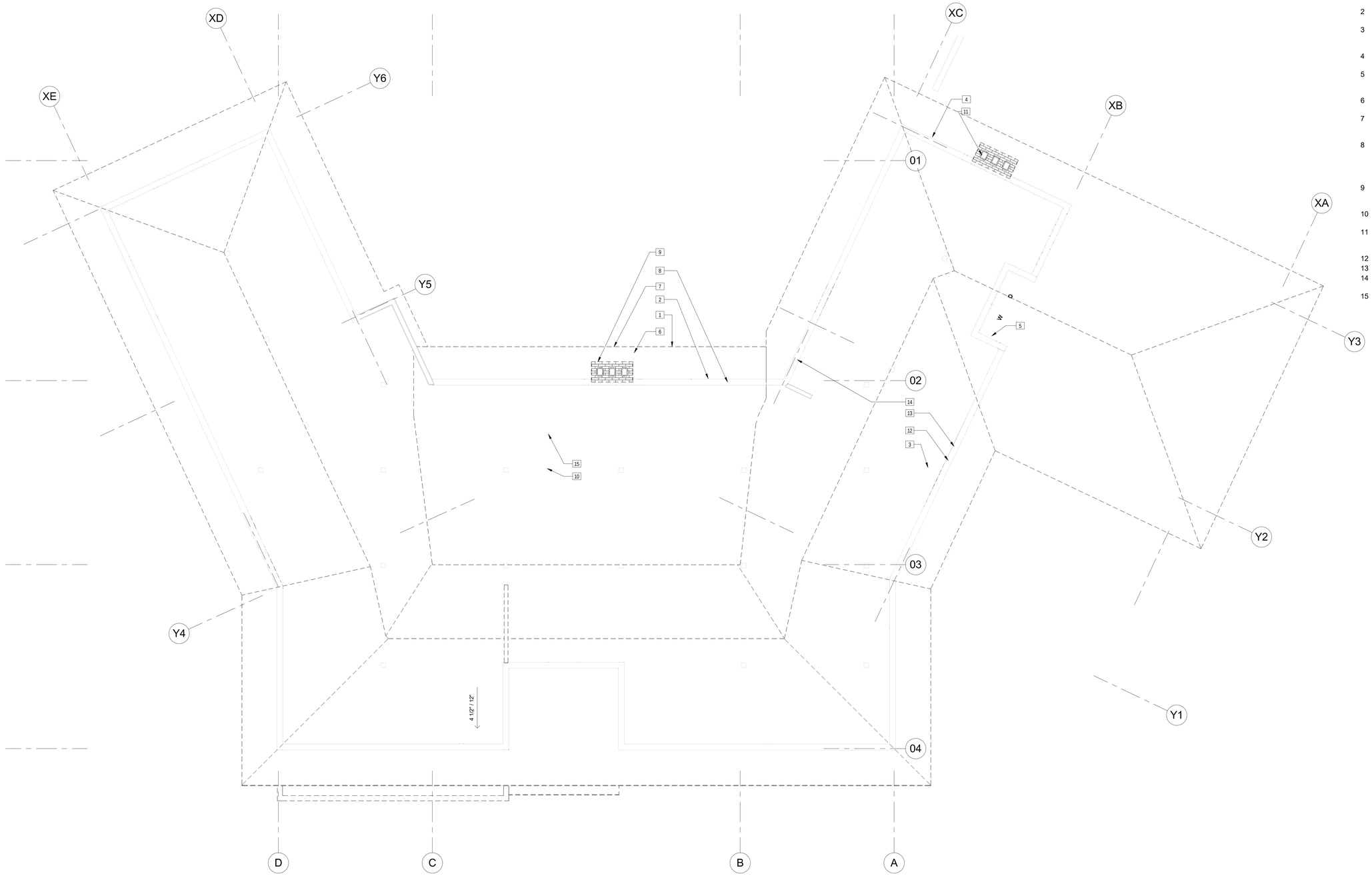

1 00 EXISTING ROOF PLAN
1/4" = 1'-0"

00 Keynote Legend

Key Value	Keynote Text
1	Remove and discard existing exterior wall assembly and attached fenestrations as needed, shoring of existing roof shall be installed prior to the removal of existing load bering walls, shoring and brace walls as neededin order to accommodate the proposed building configuration, refer to waste management guidelines for disposal guidelines for proper waste disposal.
2	Remove and discard existing fenestrations in order to accommodate the proposed improvements.
3	Remove and discard existing electrical conduit and corresponding wiring, reroute in order to accommodate the proposed ceiling.
4	Remove and relocate existing electrical pole in order to accommodate the proposed door opening.
5	Remove and discard existing interior partion, shoring and temporary bracing shall be place at all load bearing walls during the construction phase.
6	Remove and discard existing eave and overhang in order to accommodate the proposed addition.
7	Remove and discard existing ceiling and corresponding ceiling joist in order to accommodate the proposed ceiling configuration and room layouts.
8	Remove and discard existing concrete slate roofing system, plywood sheathing, roof rafters in order accommodate the proposed light weight concrete slate roofing system, refer to roof plan for additional information.
9	Remove existing fire place mantel in order to accommodate the proposed floor finish, refer to floor plan for additional information.
10	Remove and relocate roof stack vents as per proposed roof configuration.
11	Remove and discard existing fireplace and chiminey in its entirity, cap and disconnect gaslines in order to accommodate the proposed improvements.
12	Remove and discard existing light weight tile system.
13	Protect in place existing exterior wall assembly.
14	Remove and discard existing plaster soffits and corresponding 2x framing.
15	Remove and discard existing roofing system, sheathing and roof rafters, add shoring and bracing at all exterior load bearing walls during the construction phase.

No.	Description	Date

Project number Project Number
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Consultant
Address
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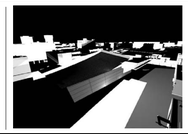
Phone
Fax
e-mail



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CANDAMIL RESIDENCE

Remodel to Existing Single Family Dwelling

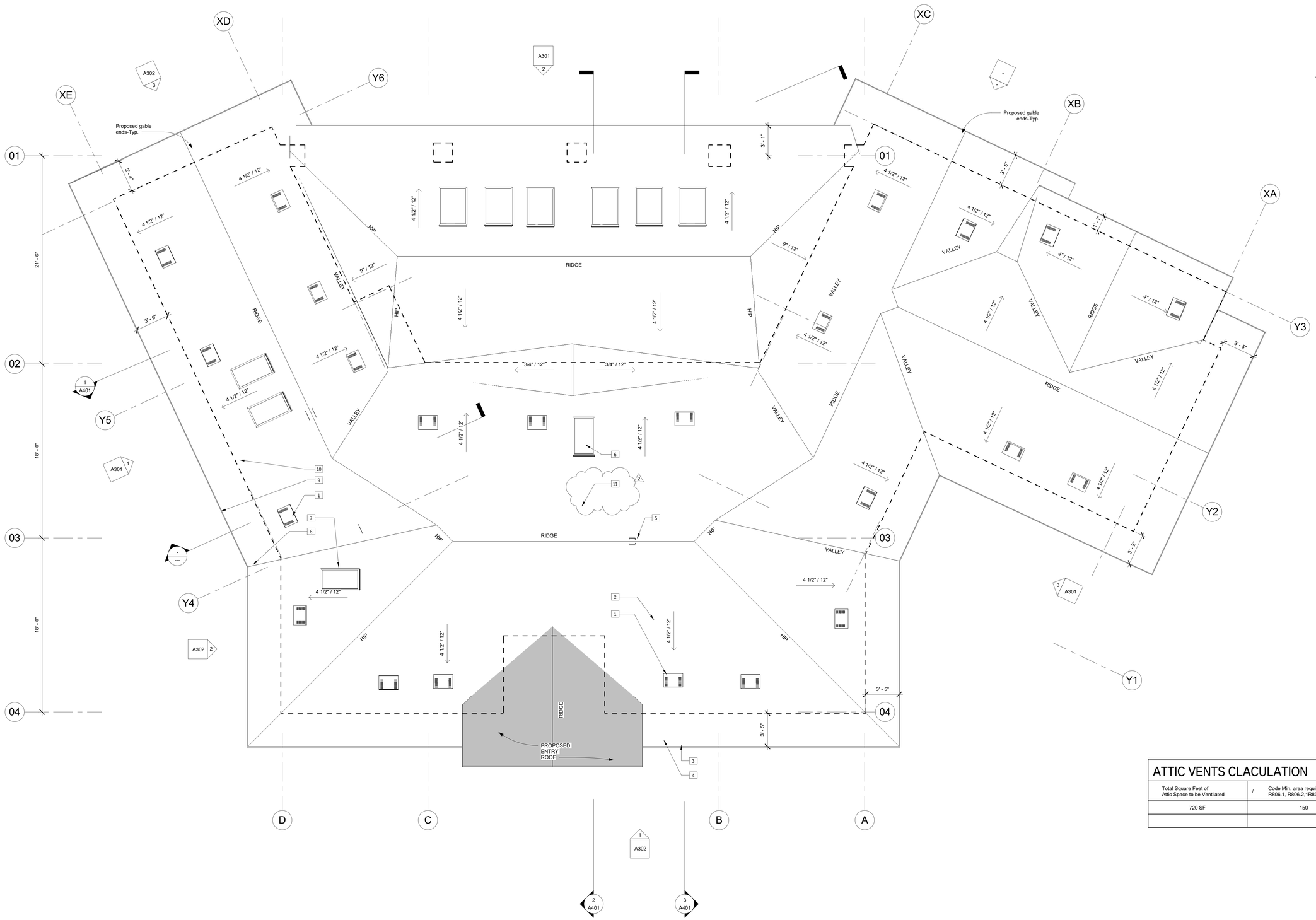
9700 Portada Drive, Whittier, CA

ROOF PLAN (Existing)

A205

Scale 1/4" = 1'-0"

4/1/2017 10:32:44 AM



PROPOSED ROOF PLAN
1/4" = 1'-0"

00 Keynote Legend

Key Value	Keynote Text
1	O'haggin Low profile attic roof mounted vents, Tapered Low-Profile, color to match roof color, installed as per manufacture installation instructions.
2	Roof rafters as per structural framing plan.
3	22 GA. sheet metal square continuous gutters, color to be owner selected.
4	Overhang shall be assemble using 1 hour construction.
5	Ridge ventilation, installed as per manufacture installation instructions.
6	Proposed Skylights VELUX Venting Tempered Skylight (VCM)or of equal grade, -Typ.install as per manufactures installation instructions (see detail #9 on sheet A601).
7	Flashing as required.
8	Downspout, color and style to match existing.
9	1x wood facia, profile to match existing main dwelling, color to be owner selected.
10	Line of building beyond.
11	Clay roof tiles, Similar grade to Ponderosa color tile by Eagle Roofing Products Co.; Concrete Roof Tiles and Accessories, ASTM C 1492, Standard Specification for Concrete Roof Tile, Roofing tile materials and installation shall conform to the requirements of IAPMO ER 1900 and LA RR 25021, and the 2015 Concrete and Clay Roof Tile Installation Manual, installed as per manufacture installation instructions.

ATTIC VENTS CLACULATION

Total Square Feet of Attic Space to be Ventilated	/	Code Min. area requirements - R806.1, R806.2,1R806.3	=	Total Square Feet of Code-Required Ventilation	Provided area (O'Hagan Low-profile vents- or equal).
720 SF		150		=4.8 SF = 691.2"	12 vents @ 72sq. in. each = 864 sq. in.

No.	Description	Date
2	2nd Plan Check	04/10/17

Project number Project Number
Date Issue Date
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Checked by Checker

Consultant
Address
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Phone
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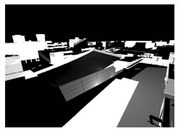
e-mail



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CANDAMIL RESIDENCE

Remodel to Existing Single Family Dwelling

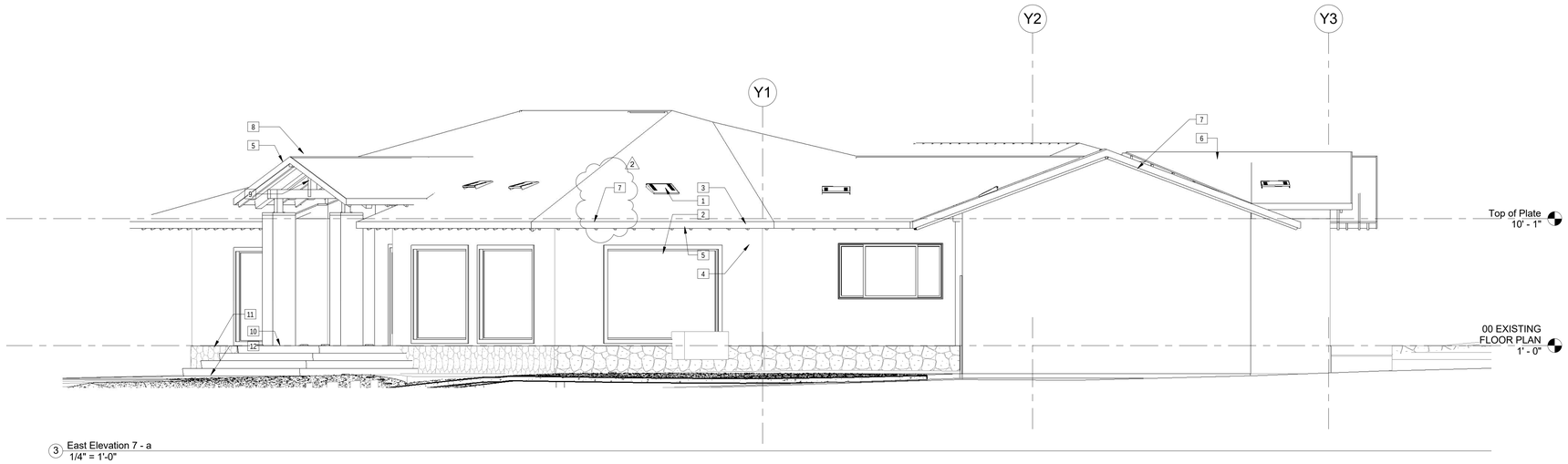
9700 Portada Drive, Whittier, CA

PROPOSED ROOF PLAN

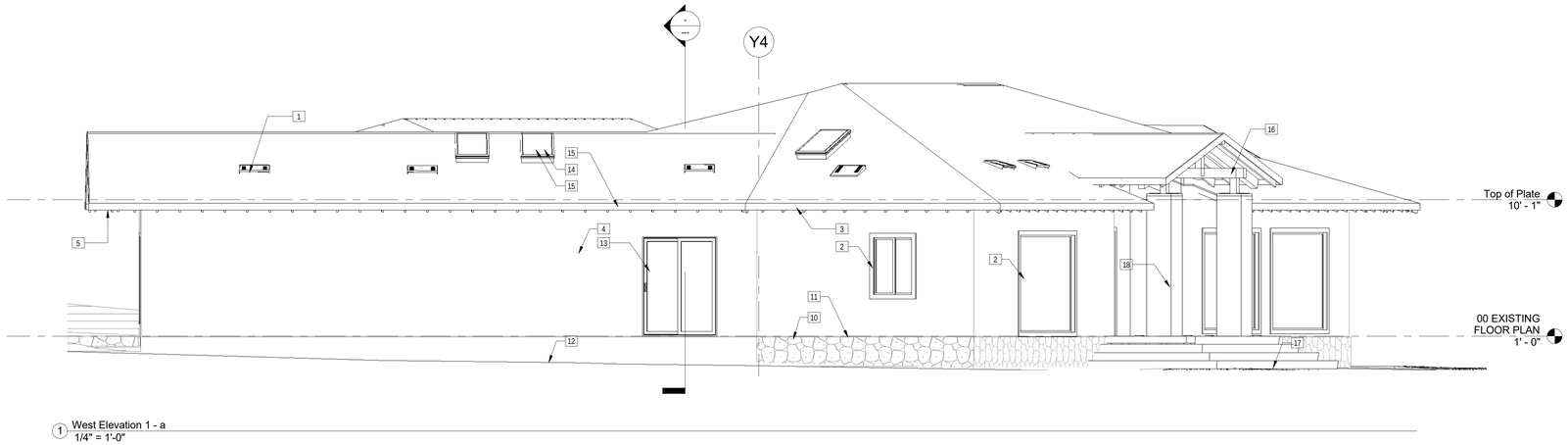
A206

Scale As indicated

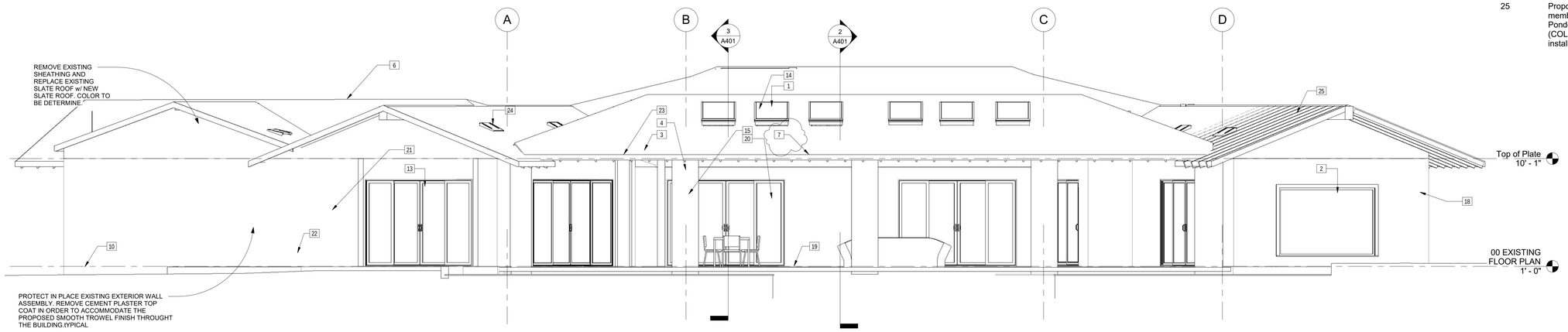
4/11/2017 10:32:45 AM



3 East Elevation 7 - a
1/4" = 1'-0"



1 West Elevation 1 - a
1/4" = 1'-0"



2 North Elevation 3 - a
1/4" = 1'-0"

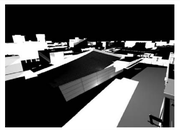
00 Keynote Legend

Key Value	Keynote Text
1	O'haggin Low profile attic roof mounted vents, Tapered Low-Profile, color to match roof color, installed as per manufacture installation instructions..
2	Window assembly as per window schedule, Vynil sliding, white, U-factor .
3	Painted steel gutter and downspout, color to match existing.
4	Exterior cement plaster system, smooth texture finish, color to match LaHabra Stucco Finish, Base200, X-23 Aspen, Parex USA, over DuPont, Tyvek® Stucco Wrap, WRB or of equal grade, sheathing as per structural drawings.
5	Overhangs to match existing, prepare, primed and paint all exposed wood members, colors shall be similar to EVERSHIELD® is a complete line of ultra premium exterior, ultra-low VOC, 100% acrylic paint by DUNN-EDWARDS, or of equal grade.
6	Building beyond.
7	2x Trims and 2 x 8 rough sawn, painted facia primed and paint all exposed wood members, colors shall be similar to EVERSHIELD is a complete line of ultra premium exterior, ultra-low VOC, 100 percent acrylic paint by DUNN-EDWARDS, or of equal grade.
8	Clay roof tiles, Similar grade to Ponderosa color tile by Eagle Roofing Products Co.; Concrete Roof Tiles and Accessories, ASTM C 1492, Standard Specification for Concrete Roof Tile, Roofing tile materials and installation shall conform to the requirements of IAPMO ER 1900 and LA RR 25021, and the 2015 Concrete and Clay Roof Tile Installation Manual, installed as per manufacture installation instructions.
9	Exposed roof members. Paint, stain and seal as per specifications.
10	Provide raised floor vetilation Foundation Vents, 9" high x 18" long, vynil or sheet metal, net free area 57 inches, installed as per manufacture installationinstructions.
11	Sawcut existing exterior plaster system at base location inorder to accommodate the proposed stone veneer wainscout, refer to exterior elevations for additional information.
12	Protect in place existing grade, Back-fill shall be slope to drain away from the building for a minimum of 6 inches of fall for the first 10 feet horizontal to an approved drainage course, Typical, refer to CRC-R401_3.
13	Door as per schedule.
14	22" wide x 46" long skylight similar to Velux FSM, aluminum exterior finish or of equal grade, Intall as per manufacture installation instructions.
15	Downspout to match gutter style and color, installaed as per manufacture installation instruction, fastners shall be installed into plaster walls, protect exterior plaster as suggested by manufacture.
16	Exposed wood timber shall be similar to EXPOSED TIMBER, STAINED General Finishes- Exterior 450 Wood Stains premium quality, exterior pigmented stains designed for outdoor_COLOR (Olde Cherry).
17	Remove and discard existing landscaping, lawn, sprinklers and relevant site work accordingly.
18	Smooth trowel finish plaster, color shall be similar to LaHabra X23 Aspen Base 200, or similar to SHERWIN-WILLIAMS ALBASTER SW7008,Trims and exposed wood shall be similar to WOOD TRIMS AND FACIA BOARDS: COLOR: SHERWIN-WILLIAMS WHITE DUCK SW7010.
19	Concrete floor slab, slope to drain.
20	Sliding glass door, intalled as per manufacture installation instructions, provide flashing and sheet metal pan as per manufacture intallation instructions, seal perimeter as needed.
21	Wall mounted Sconces as per reflected ceiling plan.
22	Condensor unit as per plan.
23	Continuous half round gutter, primed and painted using high gloss exterior paint, provide support as per manufacture installation instructions.
24	O'haggin Low profile attic roof mounted vents, Tapered Low-Profile, color to match roof color, installed as per manufacture installation instructions.
25	Proposed concrete clay tile roofing system over water proofing membrane, Flat roof tiles, Similar grade to Eagle, Color similar to Ponderosa Description, Rosy Brown, Dark Brown Streaks (COLOR 5557 Live Oak), installed as per manufacture installation instructions.

No.	Description	Date
2	2nd Plan Check	04/10/17

Project number Project Number
Date Issue Date
Drawn by Author
Checked by Checker

Consultant
Address
Address
Phone
Fax
e-mail



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CANDAMIL RESIDENCE

Remodel to Existing Single Family Dwelling

9700 Portada Drive, Whittier, CA

EXTERIOR ELEVATIONS

A301

Scale 1/4" = 1'-0"

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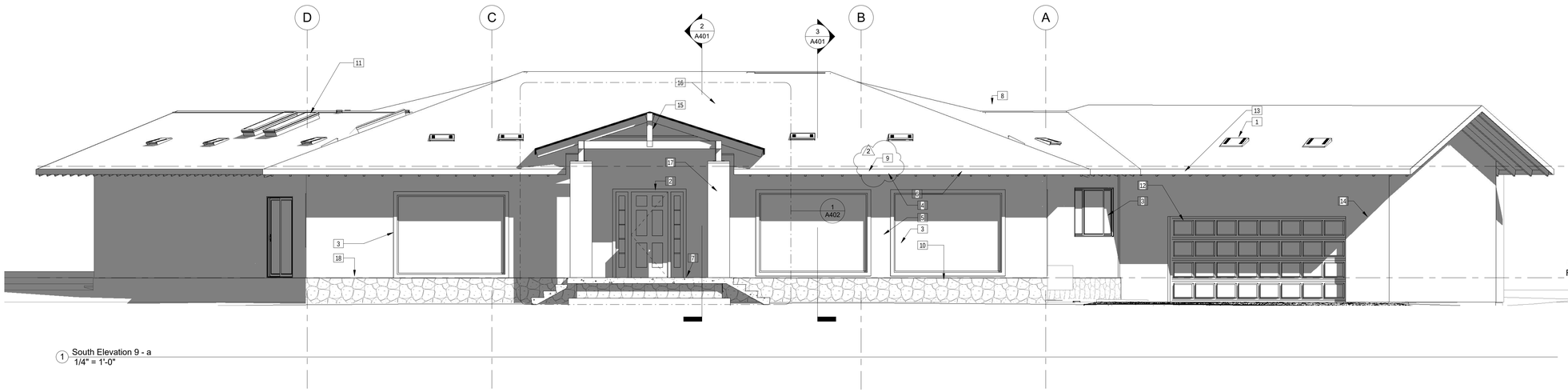
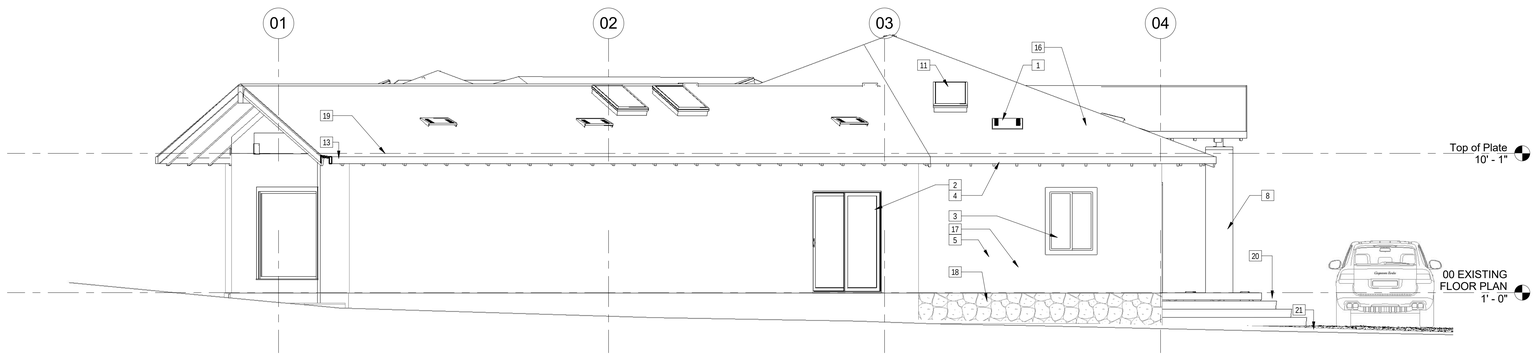
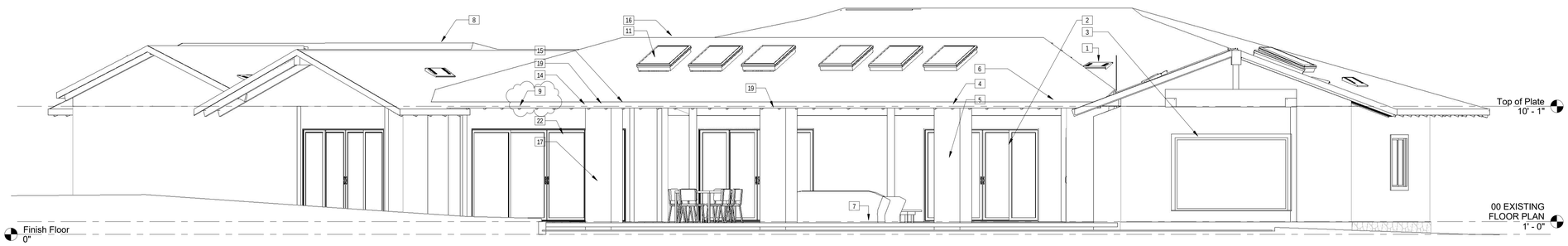


1 South Elevation 9 - a
1/4" = 1'-0"



2 Elevation 10 - a
1/4" = 1'-0"



3 North West Elevation 2 - a
1/4" = 1'-0"

00 Keynote Legend

Key Value	Keynote Text
1	O'haggin Low profile attic roof mounted vents, Tapered Low-Profile, color to match roof color, installed as per manufacture installation instructions..
2	Door as per schedule.
3	Window assembly as per window schedule, Vynil sliding, white, U-factor .
4	Painted steel gutter and downspout, color to match existing.
5	Exterior cement plaster system, smooth texture finish, color to match LaHabra Stucco Finish, Base200, X-23 Aspen, Parex USA, over DuPont, Tyvek® Stucco Wrap, WRB or of equal grade, sheathing as per structural drawings.
6	Overhangs to match existing, prepare, primed and paint all exposed wood members, colors shall be similar to EVERSHIELD® is a complete line of ultra premium exterior, ultra-low VOC, 100% acrylic paint by DUNN-EDWARDS, or of equal grade.
7	Concrete floor slab, slope to drain.
8	Building beyond.
9	2x Trims and 2 x 8 rough sawn, painted facia primed and paint all exposed wood members, colors shall be similar to EVERSHIELD is a complete line of ultra premium exterior, ultra-low VOC, 100 percent acrylic paint by DUNN-EDWARDS, or of equal grade.
10	Provide raised floor vetilation Foundation Vents, 9" high x 18" long, vynil or sheet metal, net free area 57 inches, installed as per manufacture installationinstructions.
11	22" wide x 46" long skylight similar to Velux FSM, aluminum exterior finish or of equal grade, Intall as per manufacture installation instructions.
12	Roll up garage door shall be mounted to ceiling joist, add tracks and mounting brackets as per manufacture installation instructions, owner to slect motor type and remote control options.
13	Continuous half round gutter, primed and painted using high gloss exterior paint, provide support as per manufacture installation instructions.
14	Wall mounted Sconces as per reflected ceiling plan.
15	Exposed wood timber shall be similar to EXPOSED TIMBER, STAINED General Finishes- Exterior 450 Wood Stains premium quality, exterior pigmented stains designed for outdoor_COLOR (Olde Cherry).
16	Proposed concrete clay tile roofing system over water proofing membrane, Flat roof tiles, Similar grade to Eagle, Color similar to Ponderosa Description, Rosy Brown, Dark Brown Streaks (COLOR 5557 Live Oak), installed as per manufacture installation instructions.
17	Smooth trowel finish plaster, color shall be similar to LaHabra X23 Aspen Base 200, or similar to SHERWIN-WILLIAMS ALBASTER SW7008,Trims and exposed wood shall be similar to WOOD TRIMS AND FACIA BOARDS: COLOR: SHERWIN-WILLIAMS WHITE DUCK SW7010.
18	Sawcut existing exterior plaster system at base location inorder to accommodate the proposed stone veneer wainscout, refer to exterior elevations for additional information.
19	Downspout to match gutter style and color, installaed as per manufacture installation instruction, fastners shall be installed into plaster walls, protect exterior plaster as suggested by manufacture.
20	Proposed slab on grade, surface drainage shall be diverted to a storm sewer conveyance or other approved point of collection so as to not creqate a hazard.
21	Proposed concrete paving, conrete finish and texture to match existing adjacent concrete paving.
22	Sliding glass door, intalled as per manufacture installation instructions, provide flashing and sheet metal pan as per manufacture intallation instructions, seal perimeter as needed.

EXTERIOR ELEVATIONS NOTES:

1. APPLICATION OF LATH, PAPER AND FLASHING OR WEEP SCREEDS SHALL COMPLY WITH ASTM C1063.
2. PROVIDE A MINIMUM OF OF NO. 26 GALVANIZED SHEET GAGE CORROSION-RESISTANT WEEP SCREED WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3-1/2' SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS.
3. THE WATER-RESISTIVE BARRIER TO THE EXTERIOR OF THE BUILDING AND THE EXTERIOR LATH SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE OF THE WEEP SCREED.

No.	Description	Date
2	2nd Plan Check	04/10/17

Project number Project Number
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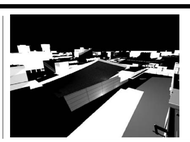

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CANDAMIL RESIDENCE

Remodel to Existing Single Family Dwelling

9700 Portada Drive, Whittier, CA

EXTERIOR ELEVATIONS

A302

Scale As indicated

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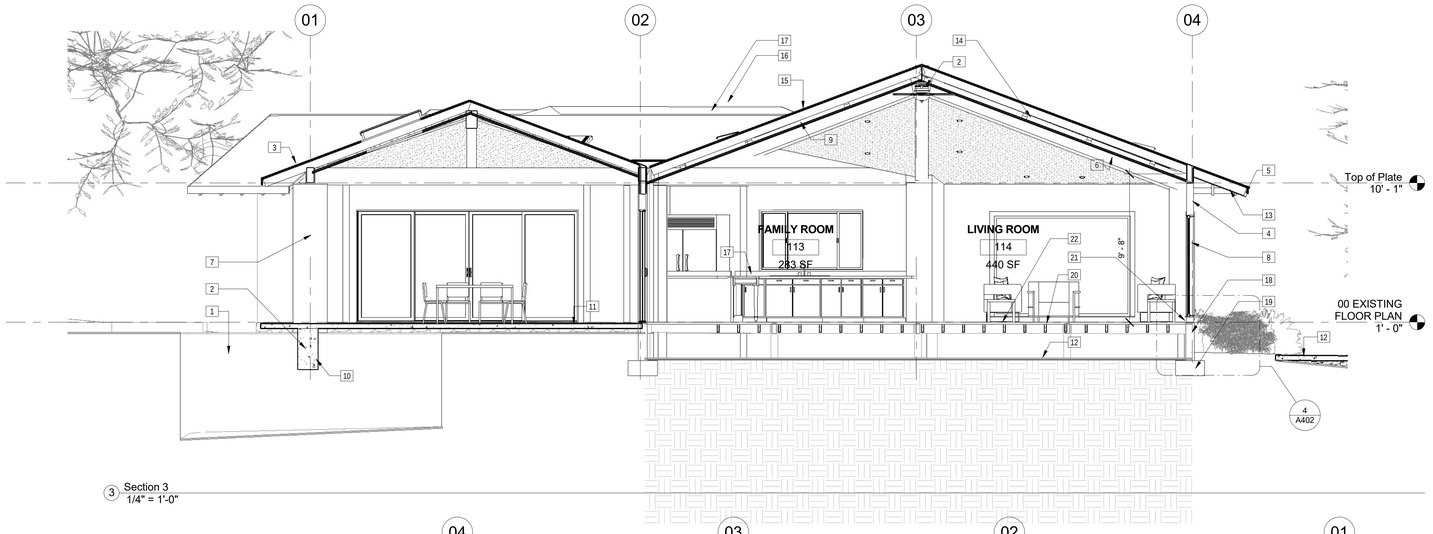
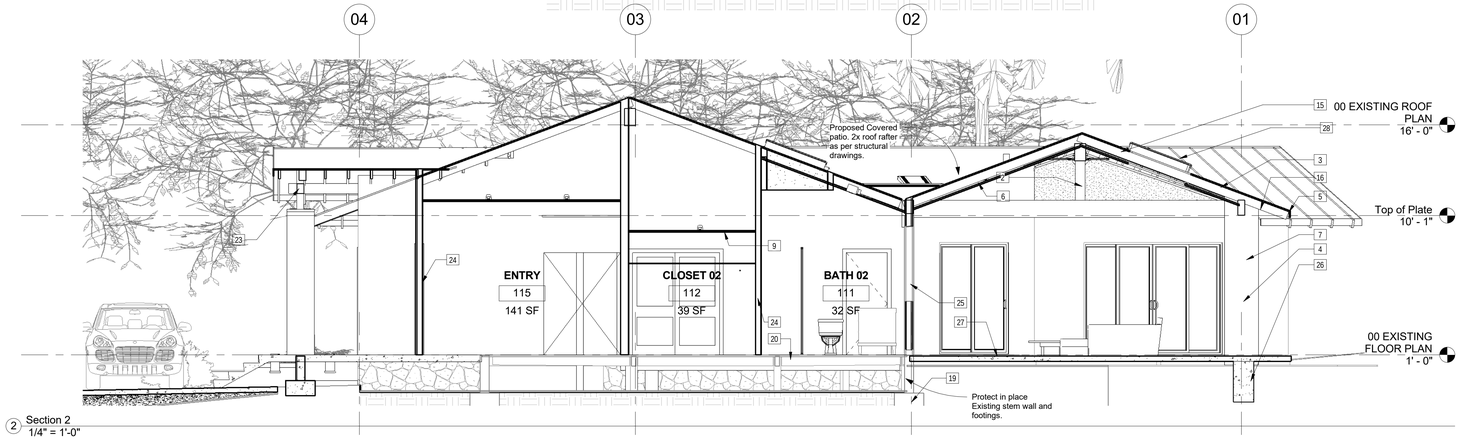
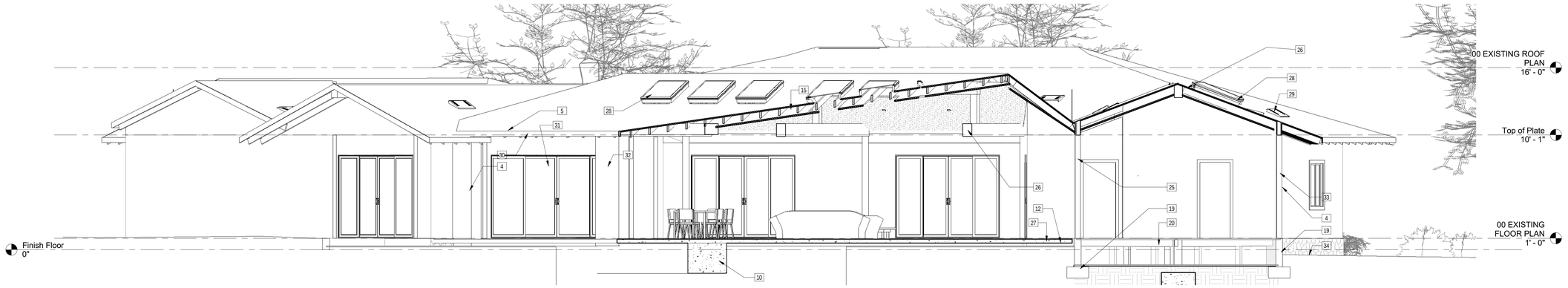


3 Section 3
1/4" = 1'-0"



2 Section 2
1/4" = 1'-0"



1 Section 1
1/4" = 1'-0"

00 Keynote Legend

Key Value	Keynote Text
1	Infill existing pool using local jurisdiction standards, All fill material shall be compacted to a minimum of 90 percent of maximum density as determined by ASTM D 1557, Modified Proctor, in lifts not exceeding 12 inches (0.3 m) in depth within 40 feet (12.2 m) below finished grade and 93 percent of maximum dry density deeper than 40 feet (12.2 m) below finished grade, unless a lower relative compaction (not less than 90 percent of maximum dry density) is justified by the Geotechnical Engineer and approved by the Building Official. Where ASTM D 1557, Modified Proctor is not applicable, a test acceptable to the Building Official shall be used Field density shall be determined by a method .
2	Beams as per structural plan.
3	Proposed concrete clay tile roofing system over water proofing membrane, Flat roof tiles, Similar grade to Eagle, Color similar to Ponderosa Description, Rosy Brown, Dark Brown Streaks (COLOR 5557 Live Oak), installed as per manufacture installation instructions.
4	Smooth trowel finish plaster, color shall be similar to LaHabra X23 Aspen Base 200, or similar to SHERWIN-WILLIAMS ALBASTER SW7008,Trims and exposed wood shall be similar to WOOD TRIMS AND FACIA BOARDS: COLOR: SHERWIN-WILLIAMS WHITE DUCK SW7010.
5	Cont. Gutter and downspout. See specifications.
6	Gypsum board, finish to match existing main dwelling finish, color to be owner selected.
7	Wood Column, Refer to structural drawings.
8	Exterior window assembly system. Refer to schedule.
9	Gypsum board ceiling, refer to ceiling joist span table on roof framing sheet, ceiling texture shall match existing main dwelling texture, color is to be owner selected.
10	Footings as per structural drawings.
11	Slab on grade, over compacted earth, add 2" sand and vapor varrier as recommended by concrete standards.
12	Compacted earth.
13	Remove and discard exiting overhang in its entirity in order to accommodate the new roof configuration, refer to framing plan and roof plan.
14	Roof sheathing as per schedule.
15	Roof rafters as per structural drawings, R-30 insulation, add 2 inch diameter holes at each roof rafter bay, protect openings using a 1/4 inch galvanized steel mesh stapled to the inside of the top of wall plate blocking.
16	Waterproofing membrane, install as per manufactures installation instructions.
17	Elevation Beyond.
18	Sawcut existing exterior plaster system at base location inorder to accommodate the proposed stone veneer wainscout, refer to exterior elevations for additional information.
19	Protect in place existing footings.
20	Protect in place existing flooring and substructure.
21	Contractor shall verify existing conditions at the site and examine adjoining work, identify what will affect the completion of this work, the designer shall be notified in writing should the contractor have questions as to existing condition that will affect the work.
22	All cutting and patching in the existing building shall be done by the contractor, to provide for exterior load bearing walls and new roof configuration.
23	Exterior plaster wall system over wood framing, all water proofing membranes shall be installed as per manufacture installation instructions, R-19 batten insulation.
24	Interior load bearing partition. Refer to structural drawings.
25	Protect in place existing interior wall assemblies.
26	Proposed beam as per structural framing plan.
27	Slab on grade, remove and recompact existing soil as recommended in soils report.
28	22" wide x 46" long skylight similar to Velux FSM, aluminum exterior finish or of equal grade, Intall as per manufacture installation instructions.
29	O'haggin Low profile attic roof mounted vents, Tapered Low-Profile, color to match roof color, installed as per manufacture installation instructions..
30	Painted steel gutter and downspout, color to match existing.
31	Sliding glass door, intalled as per manufacture installation instructions, provide flashing and sheet metal pan as per manufacture intallation instructions, seal perimeter as needed.
32	Wall mounted Sconces as per reflected ceiling plan.
33	Protect in place existing exterior wall assembly.
34	Existing Landscaping, protect during the construction of the proposed addition.

No.	Description	Date

Project number Project Number
Date Issue Date
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Consultant
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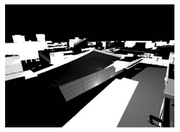

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CANDAMIL RESIDENCE

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BUILDING SECTIONS

A401

Scale 1/4" = 1'-0"

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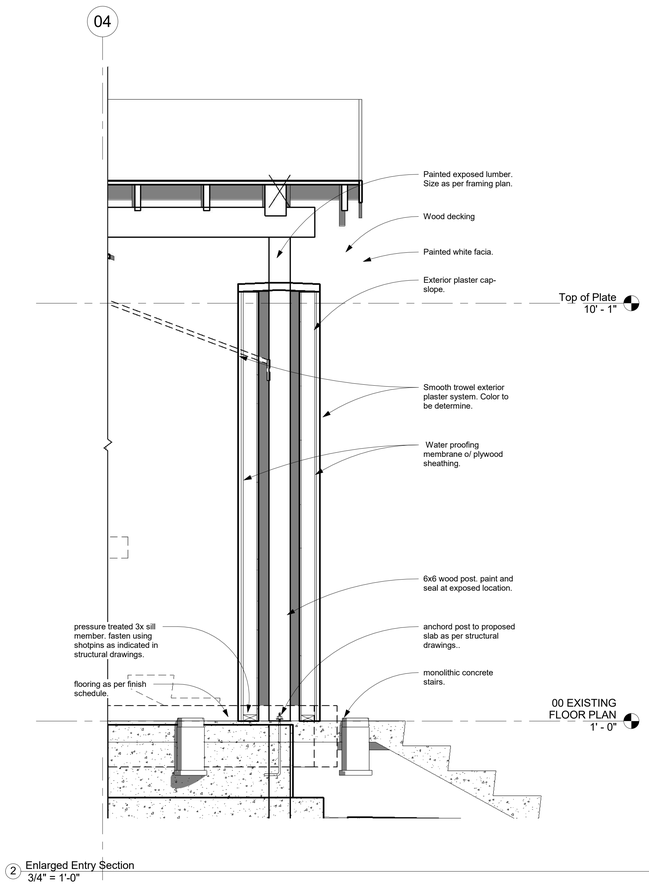
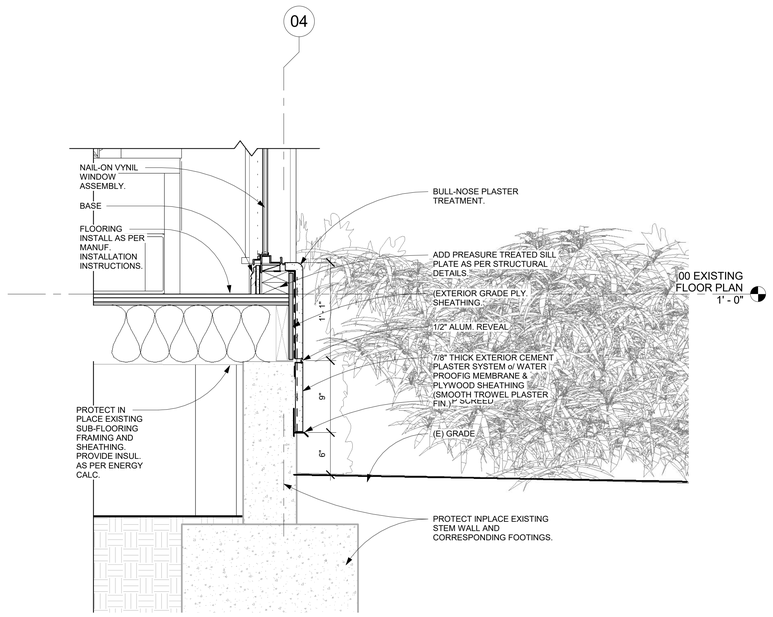
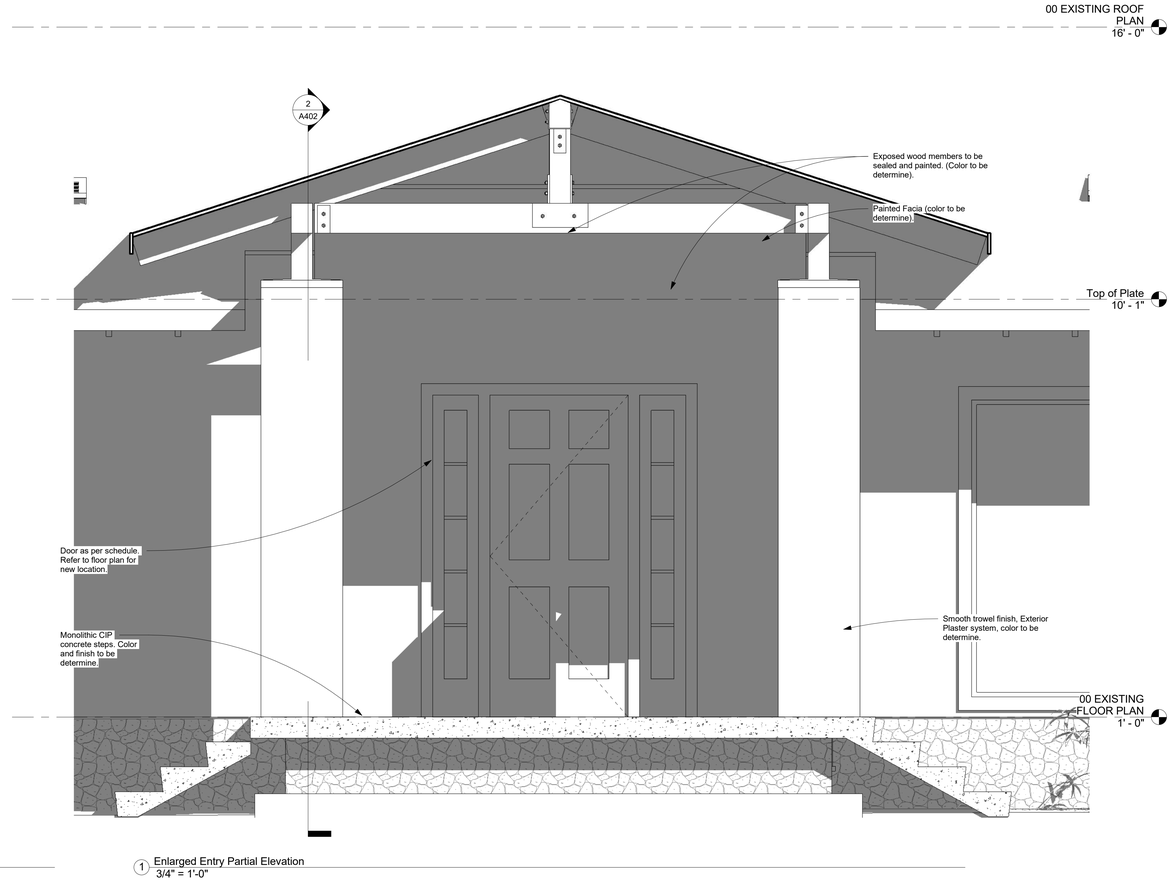


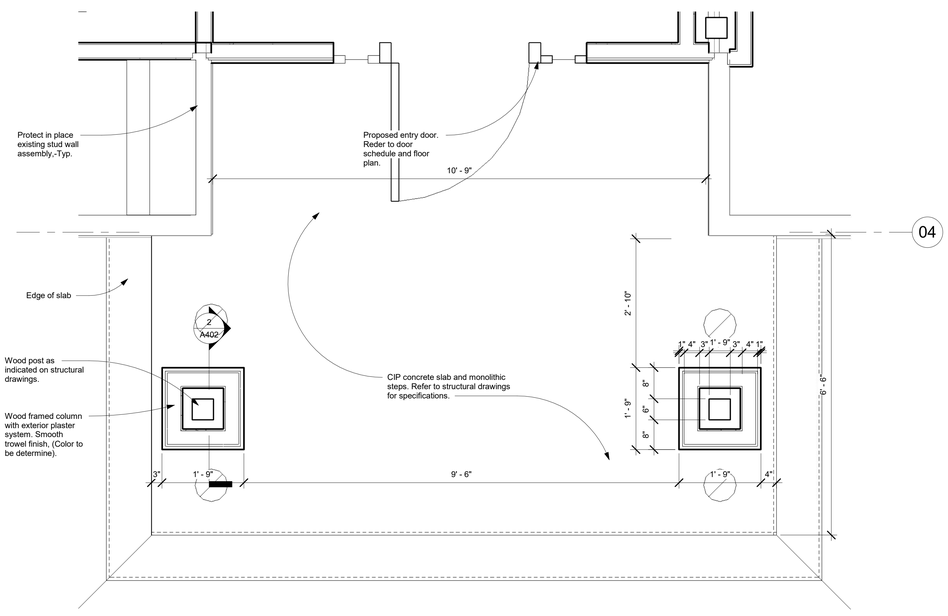
2 Enlarged Entry Section
3/4" = 1'-0"



4 Wall Base Detail @ Exterior Wall
1 1/2" = 1'-0"



1 Enlarged Entry Partial Elevation
3/4" = 1'-0"

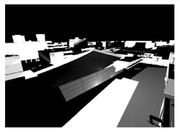


3 Enlarged Column Details
3/4" = 1'-0"

No.	Description	Date

Project number Project Number
Date Issue Date
Drawn by Author
Checked by Checker

Consultant
Address
Address
Phone
Fax
e-mail



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CANDAMIL RESIDENCE

Remodel to Existing Single Family Dwelling

9700 Portada Drive, Whittier, CA

TYPICAL EXTERIOR DETAILS

A402

Scale As indicated

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Division 1
A. GENERAL CONDITIONS:
1. AIA Document A201, "General Conditions of the Contract for Construction" shall govern work performed under this Contract.
2. The contractor shall be responsible for providing all materials and workmanship in accordance with all applicable State and City building codes and requirements.
3. As approved by building owner, the contractor and all subcontractors shall purchase and maintain certificates of insurance with respect to workmen's compensation, public liability and property damage for the limits as required by law. The contractor shall be responsible for initiating, maintaining, and supervising all safety precautions in connection with the work.
4. The contractor is required to secure and pay for all building permits, plan check or any other fees required to complete this project and all fees shall be included in the contractor's pricing proposal. All pricing submittals shall be completely itemized for each sub-trade.
5. The contractor and all sub-contractors shall thoroughly examine the premises and shall base their bids on the existing conditions. The contractor shall notify owner's representative immediately of any discrepancies between field conditions and construction documents prior to construction, or the contractor shall be held responsible.
6. Upon submittal of the final construction costs, the general contractor shall also submit a specific construction schedule indicating the required construction time for all subcontractors' and general contractors' work. This schedule shall confirm approximate on-site delivery dates for all construction materials by the construction documents and shall immediately notify owner's representative, in writing, of all construction delays that may arise due to the availability of the specified products which will affect scheduled occupancy.
7. Substitutions, revisions, or changes must have prior written approval by the owner's representative. There shall be no substitution of materials where a manufacturer is specified. Where the term "or approved equal" is used, the owner's representative shall determine equality based upon complete information submitted by the contractor.
8. No work defective in construction or quality or deficient in any requirements of the drawings will be acceptable. The owner's or owner's representative failure to discover or point out defects or deficiencies during construction shall bear no consequence to the owner orowner's representative. Defective work revealed during the construction period or during the guarantee period shall be replaced by work conforming with the intent of the contract. No payment, either partial or final shall be construed as on acceptance of defective work or improper materials.
9. The general contractor shall not proceed with any additional compensation beyond the contract amount without written authorization from the owner or the owner's representative. Failure to obtain authorization shall invalidate any claim for extra compensation.
10. The general contractor shall be responsible for the distribution of drawings to all trades under his jurisdiction.
11. The contractor shall provide strict control of job cleaning and prevent dust and debris from emanating from construction areas. Keep corridors and adjacent occupied areas clean and clear. Do not disrupt operations of adjacent occupied areas.
12. "Typical" means identical for all similar conditions unless otherwise noted.
13. Contractor is responsible for coordinating all design & engineering work to assure that all lighting, mechanical, electrical, plumbing & sprinkler work has the proper clearances for installation and maintenance. Resolve all conflicts before proceeding.

B. SUBMITTALS
1. Contractor shall submit samples and shop drawings to the owner's representative for review prior to fabrication. The owner's representative will review and approve submittals in an orderly sequence to prevent delay. Inform owner's representative in writing at the time of submission of any proposed deviation in submittals from the requirements of the Contract Documents. By approving and submitting shop drawings and samples, the Contractor represents that he has determined and verified field measurements, field construction criteria, materials, catalogue numbers and similar data, and that each submittal has been checked and coordinated with the requirements of the Contract.
2. Samples
a. Provide three samples of each item as required. Contractor shall ship samples prepaid.
b. Rejected samples shall be resubmitted as soon as possible and shall be identified as "Resubmitted Samples".
c. Provide samples of actual piece of the appropriate material for the following:
1. Points (8" x 10")
2. Vinyl Composite Tile (1' x 1 ')
3. Plastic laminates (8" x 10")
4. Wood Finishes (8" x 10")
5. Rubber Base (3")
6. Carpet (1' x 1 ')
3. Shop Drawings –Submit shop drawings, equipment/product cut sheets, and samples to owner's representative for approval.
a. Submit one reproducible and two prints of each shop drawing. Drawings shall include title block, reference to architectural drawing and required information.
b. Corrections and notations will be mode on the reproducible. When required, revision shall be incorporated and resubmitted.
c. The owner's representative review of shop drawings shall be for design concept only. The Contractor is responsible for the accuracy of shop drawings, proper fittings, coordination of work, construction techniques, materials and work required by the Contract Documents.
d. The owner's representative review of shop drawings shall not be construed as approving departures from contract requirements.
e. Provide shop drawings for the following:
1. Finish carpentry/millwork.
2. HVAC system.
3. Electrical system.
4. Life Safety system.
5. Sprinkler system.
6. Carpet seaming diagrams.
4. Contractor shall submit a detailed hardware schedule for the owner's representative approval prior to submitting order. Finish hardware samples shall be submitted at the request of owner.

Division 2 - Site Access
A. SITE WORK:
1. Receive approval from Building Owner regarding access to space, debris removal routes, and other necessary construction functions prior to commencing construction.
2. Coring and other work which might affect other tenants shall be scheduled through the office of the Building Owner.
3. Submit shop drawings, equipment/product cut sheets, and samples to owner's representative for approval.

Division 3 - Concrete
A. CUTTING & PATCHING
1. All concrete cutting and patching to conform to the provisions of ACI Standard 318 for concrete construction.
2. Submit shop drawings, equipment/product cut sheets, and or samples to owner's representative for approval.

DIVISION 4: MASONRY
This Section not used.

DIVISION 5: MISCELLANEOUS METALS
This Section not used.

DIVISION 6: WOOD AND PLASTIC
A. ROUGH CARPENTRY
1. Wood for rough carpentry shall be graded by an agency certified by the National Forest Products Association (NFPA) and shall be of the type recommended for the application involved.
a. Fire treat all wood for rough carpentry.
B. FINISH CARPENTRY
1. Finish carpentry and millwork shall conform to the following standard: Woodwork Institute of California: Custom Grode.
2. Wood Casework:
a. Plastic laminate shall be NEMA LD-3 general purpose type. Thickness as follows:
a) Counter tops: 0.05"
b) Vertical surfaces: 0.038"
c) Bock-up sheets: 0.020"
See Finish Schedule.
b. Paint finish millwork shall be paint grade solid wood or edge banded plywood or particle board. See Millwork Details.
c. Doors, shelves, drawer fronts 3/4" plywood with 1 /4" hardwood cabinet sides, base: edgeboard on all exposed edges. See Details.
d. Cabinet back: 1/4" plywood
e. Countertop (at Coffee Area): 3/4" particle board with plastic laminate on all exposed surfaces.
f. Materials for transparent finish: Cabinets to receive transparent finish ore to be fabricated from premium grade American maple or cherry wood with matching edge band, U.O.N. Transparent finish to be as scheduled on plans.
g. Materials for opaque finish: Cabinets to receive paint ore to be fabricated from point grade materials. See Finish Schedule.
3. Casework Hardware
a. Concealed Hinges: Match existing.
b. Pulls: Match existing.
c. Standards: KV #255 w/KV #256 rests, finish: zinc.
d. Grommets: 1-3/4". Manufacturer: Doug Mockett & Co. Finish: brushed chrome.
e. Take field measurements as required. Discrepancies between drawings and field dimensions shall be reported to the architect.
f. Millwork shall be installed under supervision of factory trained mechanics.
g. After installation, check and adjust woodwork and cabinetwork hardware.
4. Submit shop drawings, equipment/product cut sheets, and or samples to owner/owner's representative for approval.

DIVISION 7: THERMAL AND MOISTURE PROTECTION
A. ACOUSTICAL INSULATION
1. Low density acoustic batt insulation to be 3/4 lb./cu.ft., 3-1/2" unfoced fiberglass acoustical insulation Ownes-Corning noise barrier, SG thermafiber or approved equal. Minimum thickness: 3-1/2", (or approved equal).
2. Submit shop drawings, equipment/product cut sheets, and or samples to Owner for approval.

DIVISION 8: DOORS AND WINDOWS
A. DOORS AND FRAMES
See Door Schedule and Construction Details.
1. Aluminum Frames: factory finish aluminum, see door schedule for additional finish information, 20 min. rated where required or shown on plans. See drawings for layout of doors. Submit frame color sample to architect for approval.
2. Hollow Metal Frames: One piece knock down, primed to receive finish. Color: See Finish Schedule for additional finish information. Fire rated where required or shown on plans.
3. Tenant Doors: Solid core wood door, premium wood veneer with matching rails. See door schedule for additional finish information. Fire rated where required by code or indicated on the plan.
4. Doors and frames shall be straight, square and undamaged.
5. Installation is to be in accordance with the manufacturer's latest printed instructions. Gaps between frame sections greater than 1 /64" to be redone.
6. Submit shop drawings, equipment/product cuty sheets, and or samples to owner for approval.
B. GLAZING
1. Glass and glazing shall be installed per published specifications standards, test or recommended methods of industry or governmental organizations which apply to work m this project.
a. Flat gloss: Standard Specification C 1036-85 of the ASTM.
b. Safety Standard for Architectural Glazing Materials (16 CFR 1201) issued by the Consumer Product Safety Commission.
c. ANSI Z97-1-1975 of the American National Standards Institute, Inc.

2. Where glass and glazing is designated on the construction plan, details and elevations, the materials shall be as follows:
Glass: Factory cut fully tempered plate glass or laminated gloss (as required).
Glazing Tape: Performed, pre-shimmed polyisobutylene-butyJ tremco 440 or approved equal.
Setting Blocks: Shore A Neoprene, 4" min. length.
Spacers: Shore A Neoprene.
Vinyl Glozing Strips: match existing.
Submit sample. Silicone: General Electric Silicone Sealant, color to match existing.

3. Submit shop drawings, equipment/product cut sheets, and or samples to owner for approval.
DIVISION 9:
FINISHES
A. METAL FRAMING SYSTEMS: To be installed per code and construction details.

B. GYPSUM WALLBOARD SYSTEMS: To be installed per code and construction details. Use U.S. Gypsum, Gold Bond or Georgia Pacific. Fire rated assemblies shall be listed and labeled by U.L.

C. FLOORING:
1. Carpet: Install per manufacturer's recommendations over pad. See Finish Notes and Schedule.
2. Pad: Install per manufacturer's recommendations. See Finish Notes and Schedule.
3. Viny1 Flooring: Install per manufacturer's recommendations. See Finish Schedule and Schedule.
4. Base: Install per manufacturer's recommendations. See Finish Schedule and Schedule.
5. Submit shop drawings, equipment/product cut sheets, and or samples to architect for approval
.
D. PAINT:
1. Minimum two-coot application spread as recommended by the point manufacturer to obtain true, even color. For deeptone colors provide additional coots as needed.
a. Primer: As recommended by manufacturer for the substrate and finish required.
b. Paint: As indicated. Two coots eggshell finish at all wall surfaces. Semi-gloss work at all millwork, typical. See Finish Schedule for color and manufacturer.
2. Submit shop drawings, equipment/product cut sheets, and or samples to owner for approval.

F. ACOUSTICAL CEILING:
1. Grid: Match existing. Color: Match existing ..
2. Tile: Match existing.
3. Installation: Install per code and manufacturer's recommendations. See Construction Details.
4. Finished ceiling to be level within the tolerances of 1/8" in 12'-o".
5. Submit shop drawings, equipment/product cut sheets, and or samples to architect for approval.

DIVISION 10:
SPECIALTIES
This section not used.

DIVISION 11:
EQUIPMENT
A. EQUIPMENT SPECIFICATIONS AND OPERATING INSTRUCTIONS BINDER:
1. Contractor to provide equipment specifications and operating instructions binder for all equipment installed. Contractor to provide binder to tenant and building owner prior to final punchlist and application for final payment.

DIVISION 12:
FURNISHINGS
A. BLINDS: to match existing window treatments on tenant's existing space on floor above.

DIVISION 13:
SPECIAL CONSTRUCTION
This Section not used.

DIVISION 14:
CONVEYING SYSTEMS
This Section not used.

DIVISION 15:
PLUMBING/FIRE PROTECTION
A. PLUMBING: Engineering to be "Design/Build."
1. Installation: Install plumbing in accordance with applicable codes, standards and ordinances.
2. Provide cold and hot water lines. Verify location and type.
3. Submit shop drawings, equipment/product cut sheets, and or samples to archtiect for approval

B. FIRE PROTECTION: Engineering to be "Design/Build."
1. Design Sprinkler System to meet state and local codes.
2. Complete Sprinkler system design to be approved by Architect prior to purchase or fabrication of equipment.
3. Submit shop drawings, equipment/product cut sheets, and or samples to archtiect for approval

C. AIR DISTRIBUTION: Engineering to be "Design/Build."
1. Design air distribution to meet state and local codes.
2. HVAC system to conform to Title 24 regulations.
3. Complete HVAC system design (including ducts, vents, thermostats, etc.) to be approved by Architect prior to purchase or fabrication of equipment.
4. Mechanical contractor to provide Title 24 documentation.
5. Submit shop drawings, equipment/product cut sheets, and or samples to archtiect for approval

DIVISION 16:
ELECTRICAL A. ELECTRICAL:
Engineering to be "Design/Build."
1. Electrical design to meet state and local codes.
2. Electrical design to conform to Title 24 regulations.
3. Complete electrical system design to be approved by owner.
4. Submit shop drawings, equipment/product cut sheets, and or samples to architect for approval.

B. LIFE SAFETY:
Engineering to be "Design/Build."
1. Life safety design to meet state and local codes.
2. Complete life safety design to be approved by architect prior to purchase or fabrication of equipment.
3. Submit shop drawings, equipment/product cut sheets, and or samples to Owner for approval.

2 3D View 10

1 AXONOMETRIC VIEW

No.	Description	Date

Project number — Project Number
Date — Issue Date
Drawn by — Author
Checked by — Checker

Consultant
Address
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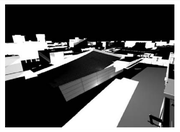

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CANDAMIL RESIDENCE

Remodel to Existing Single Family Dwelling

9700 Portada Drive, Whittier, CA

3D VIEWS

A500

Scale 12" = 1'-0"

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5 3D View 5

2 3D View 3

3 3D View 4

No.	Description	Date

1 Axonometric View 02

Project number	Project Number
Date	Issue Date
Drawn by	Author
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Consultant
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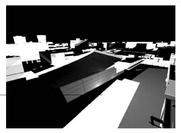

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CANDAMIL RESIDENCE

Remodel to Existing Single Family Dwelling

9700 Portada Drive, Whittier, CA

3D VIEW (ROOF FRAMING)

A501

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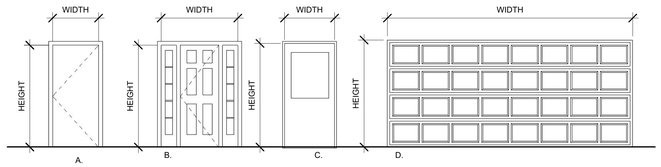
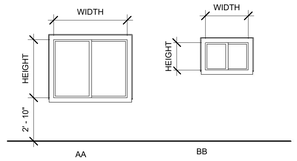
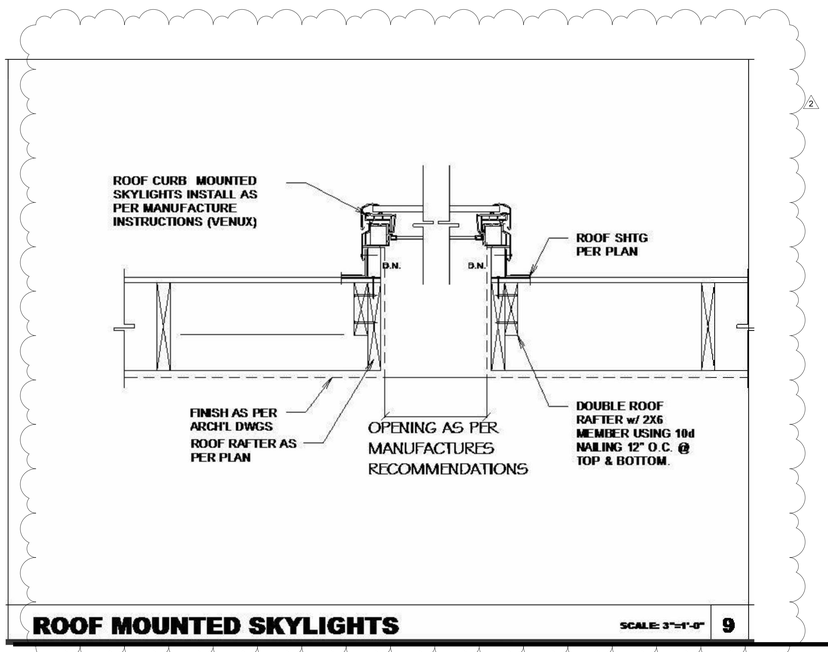


DOOR ELEVATIONS



WINDOW ELEVATIONS

DOOR & WINDOW ELEVATIONS
1/4" = 1'-0"



ROOF MOUNTED SKYLIGHTS

SCALE: 3"=1'-0" | 9

Window Schedule

Type Mark	Count	Rough Opening		Type	Manufacturer	Model	Material	Finish	Detail			Glazing		Head Height	Comments
		Width	Height						Head	Jamb	Sill	Thickness	Type		
A	4	2' - 0"	4' - 0"	Double Hung with Trim											
B	1	3' - 0"	4' - 0"	Slider with Trim										6' - 8"	
C	8	3' - 5"	3' - 5"	Window-Sliding-Milgard-Montecito_Series-Half_Vent	© 2011 Milgard Manufacturing, Inc.	Montecito ® Series								6' - 5"	
D	2	4' - 0"	4' - 0"	Window-Sliding-Milgard-Montecito_Series-Half_Vent	© 2011 Milgard Manufacturing, Inc.	Montecito ® Series								7' - 0"	
E	1	7' - 8"	3' - 5"	Window-Sliding-Milgard-Montecito_Series-Half_Vent	© 2011 Milgard Manufacturing, Inc.	Montecito ® Series								7' - 7"	
F	7	2' - 2"	4' - 2"	Window-skylight-VELUX_FCM-curb_mounted-fixed	VELUX	FCM									
G	6	2' - 10"	4' - 2"	Window-skylight-VELUX_FCM-curb_mounted-fixed	VELUX	FCM									
H	4	9' - 0"	6' - 8"	Fixed with Trim											
J	1	9' - 0"	5' - 10"	Fixed with Trim										6' - 8"	
K	1	7' - 6"	4' - 0"	Window-Sliding-Milgard-Montecito_Series-Double_Vent (1)	© 2013 Milgard Manufacturing, Inc.	Montecito ® Series								7' - 4"	

Door Schedule

Door Number	Door Type	Door Size	Phase Created	Manufacturer	Model	Frame Type	Fire Rating	Details			Description	Finish		Comments
								Head	Jamb	Sill		Door	Frame	
102	77	78" x 80"	Existing	© 2012 Milgard Manufacturing, Inc.	Tuscany® Series						Vinyl Doors			
103	36	32" x 80"	Existing											
104	36	32" x 80"	Existing											
105	36	32" x 80"	Existing											
106	38	30" x 80"	Existing											
107	38	30" x 80"	Existing											
108	97	30" x 80"	Existing											
109	81	32" x 80"	Existing								32" x 80"			
110	61	34" x 80"	Existing											
111	65	126" x 80"	Existing											
112	98	Front_Entry_14636	Existing											
113	36	32" x 80"	Existing											
114	38	30" x 80"	Existing											
115	49	68" x 80"	Existing											
116	61	34" x 80"	Existing											
117	61	34" x 80"	Existing											
118	100	42" x 80"	Existing											
119	61	34" x 80"	Existing											
122	67	16' x 7'	Existing											
152	79	30" x 80"	Existing								30" x 80"			
154	94	96" x 80"	Existing	© 2012 Milgard Manufacturing, Inc.	Tuscany® Series						Vinyl Doors			
155	103	120" x 88"	Existing	© 2012 Milgard Manufacturing, Inc.	Tuscany® Series						Vinyl Doors			
Existing: 22														
123	36	32" x 80"	New Construction											
124	36	32" x 80"	New Construction											
125	36	32" x 80"	New Construction											
126	40	34" x 80"	New Construction											
127	36	32" x 80"	New Construction											
128	36	32" x 80"	New Construction											
129	49	68" x 80"	New Construction											
130	87	36" x 80"	New Construction											
131	76	60" x 80"	New Construction	© 2012 Milgard Manufacturing, Inc.	Tuscany® Series						Vinyl Doors			
132	95	32" x 80"	New Construction											
133	36	32" x 80"	New Construction											
134	87	36" x 80"	New Construction											
137	103	120" x 88"	New Construction	© 2012 Milgard Manufacturing, Inc.	Tuscany® Series						Vinyl Doors			
138	102	192" x88"	New Construction	© 2012 Milgard Manufacturing, Inc.	Tuscany® Series						Vinyl Doors			
139	103	120" x 88"	New Construction	© 2012 Milgard Manufacturing, Inc.	Tuscany® Series						Vinyl Doors			
140	41	36" x 84"	New Construction											
141	36	32" x 80"	New Construction											
142	36	32" x 80"	New Construction											
143	113	60" x 88"	New Construction	© 2012 Milgard Manufacturing, Inc.	Tuscany® Series						Vinyl Doors			
145	67	16' x 7'	New Construction											
146	116	68" x 80"	New Construction											
147	69	60" x 80"	New Construction											
153	36	32" x 80"	New Construction											
156	103	120" x 88"	New Construction	© 2012 Milgard Manufacturing, Inc.	Tuscany® Series						Vinyl Doors			
157	103	120" x 88"	New Construction	© 2012 Milgard Manufacturing, Inc.	Tuscany® Series						Vinyl Doors			
New Construction: 25														

No.	Description	Date
2	2nd Plan Check	04/10/17

Project number — Project Number
Date — Issue Date
Drawn by — Author
Checked by — Checker

Consultant
Address
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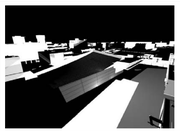

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CANDAMIL RESIDENCE

Remodel to Existing Single Family Dwelling

9700 Portada Drive, Whittier, CA

SCHEDULES

A601

Scale: As indicated

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STRUCTURAL GENERAL NOTES

1. Contractor to verify field conditions, dimensions, etc. and notify architect of any discrepancies between existing conditions and plans. Structural designs of remodels are based on assumptions of existing conditions, which are to be verified at time of construction. Owner may be liable for additional costs due to field changes.

2. Contractor responsible for providing adequate shoring, bracing, and other safety measures. Engineer's services do not extend to or include the review or site observation of the contractor's work or performance. Engineer is not liable for failure of contractor's work to conform to design intent or contract documents.

3. Plans and specification are not to be reused without authorization of engineer.

CONCRETE:
4. Concrete to have 28 day ultimate strength of 2500 psi, except piles, grade beams, and structural stabs to be 3000 psi. continuous deputy inspection required for 3000 psi or higher concrete.

MASONRY:
5. Masonry per ASTM C90, f'm = 1500 psi. Grout all cells below grade and all cells containing rebars, Horizontal bars to be placed in bond beam units. Provide vertical crack control joint at 30' o/c in block walls.

6. Masonry: Specify type and f'm of masonry units. Proportions of Mortar and Grout mixes. When half stresses are used and f'm is no more than 1500 psi for concrete masonry (2600 psi for clay masonry), a letter of certification from the supplier shall be required at the time of, or prior to, delivery of the materials to the job site to assure the materials comply with Table 21-D section 91.2105.3.4.

7. Grout: 1 part cement, 3 parts sand, 1/10 part lime
Mortar: 1 part cement, 4 ½ parts aggregate, 1/2 part lime

REBAR:
8. Rebars per ASTM A615, Grade 60, except #5 and smaller bars may be Grade 40. Lap rebars at corners and intersections.

STEEL:
9. Structural steel per ASTM A36, tubes per A501, pipes per A53 Grade B, SMRF per A572 Grade 50. Welding to be performed in the shop of a licensed and approved fabricator. Field welding, if any, to be performed by a licensed welder (in LA approved by LA building dept.) under continuous deputy inspection. Submit shop drawing for approval.

10. Standard bearing bolt holes shall be made 1/16" oversized, maximum.

WOOD:
11. Lumber to be Douglas Fir Larch, grade marked, except pressure treated sill plates. Horizontal framing to be #2 grade, except 4x and larger beams and posts to be #1 grade. Framing in contact with concrete or masonry within 6" of earth to be pressure treated. Glu-lam beams per combination 24F-V3 to be supplied by a licensed and approved fabricator. Submit certificate of inspection for approval.

12. Plywood per PS1-95. Nailing and placement to be inspected before covering. Oriented strand board (OSB) may be substituted for plywood.

13. Lag Bolts: Provide lead-hole 70% of threaded shank dia. and full dia. for smooth shank portion. Soap, paraffin or other approved lubricant shall be used on threads. Installation shall be by screwing not hammering. Care shall be taken to avoid over torquing bolt.

14. All bolt holes shall be drilled 1/32" to 1/16" oversized, maximum.

SOIL:
15. Unless indicated otherwise, allowable soil bearing assumed to be 1500 psf and lateral bearing to be 100 psf/ft per IBC table 1804.2 for silty clay.

HILLSIDE CONSTRUCTION; SLOPES > 33%

1. Nuts of the primary and secondary anchors fasteners shall be wrench tightened prior to inspection and covering.

2. Power-driven fasteners shall not be used to anchor sill plates except at interior non-bearing walls not designed as shear walls.

3. Exterior anchor bolts and post bases shall be galvanized and each anchor bolt shall have at least two galvanized nuts above the base plate.

4. The top of exterior pedestals must be sloped for positive drainage.

5. All main footing and grade beam reinforcemet steel shall be bent into the intersecting footing and fully developed around each corner and intersection.

6. Continuous inspection by a Los Angeles City licensed deputy inspector is required for all structural connections, footings, grade beams and retalning walls during installation.

7. Structural Observation by the Engineer or Architect of Record is required in accordance with LA information Bulletin P/BC 2001-24. Complete attached form.

EXPANSIVE SOIL REQUIREMENTS

1. If soil is found to be expansive, the footings must meet the following minimum requirements: 1804.4.

a) Depth of footings below the natural and finish grades shall not be less than 24 inches for exterior and 18 inches for interior footings.

b) Exterior walls and interior bearing walls shall be supported on continuous footings.

c) Footings shall be reinforced with minimum four 1/2-inch diameter deformed reinforcing bars. Two bars shall be placed 4 inches of the bottom of the footing and two bars within 4 inches of the top of the footings.

d) The soil below an interior concrete slab shall be saturated with moisture to a depth of 18 inches prior to placing the concrete.

2. Concrete slabs on grade on expansive soil or compacted fill shall be placed on a 4-inch fill of coarse aggregate or on a 2-inch sand bed covered moisture barrier membrane. The slabs shall be at least 3-1/2 inches thick and shall be reinforced with #4 bars spaced at intervals not exceeding 16 inches each way. 1808.4

EARTHQUAKE INDUCED LIQUIFACTION/LANDSLIDE

If adverse soil conditions are encountered, a soils investigation report may be required. 1804.4.2

A geotechnical report is required to evaluate the potential for soil liquifaction and soil strength loss during earthquake, 1804.5

OTHER NOTES

1). Contractor responsible for the construction of a wind or seismic force resisting system/component listed in the "Statement of Special Inspection" shall submit a written statement of responsibility to the LADBS inspectors and the owner prior to the commencement of work on such system or component per Sec 1706.1.

2). Continuous Special Inspection by a registered deputy inspector is required for field welding, concrete strength f'c>2500 psi, high strength bolting, sprayed-on fireproofing, engineered masonry, high-lift grouting, pre-stressed concrete, high load diaphragms and special moment resisting conrete frames. (1704 & Chapters 19, 21, and 22).

3). Foundation sills shall be naturally durable or preservative-treated wood. (2304.11.2.4)

4). Provide lead hole 40%-70% of threaded shank dia. an d full dia for smooth shank portion (2005NDS)

5). Peridic Special Inspection is required for wood shear walls, shear panels, and diaphragms, including nailing, bolting, anchoring, and other fastening to components of the seismic resisting system. Special inspection by a deputy inspector is required where fastener spacing of the sheathing is equal or less than 4 inches on center (1707.3)

6). Use only hot dipped galvanized nails in pressure treated lumber due to coorosion caused by new treatment process.

(7) Diaphram nailing to be inspected before covering. Strength axis of wood structural panel shall be perpendicular to supports. Floor diaphragms shall be tongue and groove or have blocked panel edges. Wood structural panel spans shall conform to CBC Table 2304.7.

(8) Wood structural panels used for diaphragms and shear walls shall conform to requirements for their type in DOC PS1 or DOC PS2 and be identified for grade and glue type (CBC 2303.1.4).

(9) All diaphragm and shear wall nailing shall utilize common nails with full heads unless otherwise approved. (CBC 2306.2).

(11) Maximum moisture content of wood shall be 19% or less before being covered with insulation, interir wall finish and floor covering of other material.

(12) Fasteners for preservative-trated or fire-retardant-treated wood shall be of hot dipped zinc-coated galvanized steel in accordance with ASTM A 153

(13) Foundation anchors to be (min)1/2" Ø x 10" with 7" embedment spaced not more than 4-feet apart and not more than 12-inches or less than 4-inches from each end piece.

NAILING SCHEDULE *(CBC Table 2304.9.1)*

CONNECTION	FASTENING (a,m)
1. Joist to sill or girder, toenail	3-8d
2. Bridging to joist, toenail each end	2-8d
3. 1" x 6" subfloor or less to each joist, face nail	2-8d
4. Wider than 1" x 6" subfloor to each joist, face nail	3-8d
5. 2" subfloor to joist or girder, blind and face nail	2-16d
6. Sole plate to joist or blocking, typical face nail	16d at 16" (406 mm) o.c.
Sole plate to joist or blocking, at braced wall panels	3-16d per 16" (406 mm)
7. Top plate to stud, end nail	2-16d
8. Stud to sill plate	4-8d, toenail or 2-16d, end-nail
9. Double studs, face nail	16d at 24" (610 mm) o.c.
10. Doubled top plates, typical face nail	16d at 16" (406 mm) o.c.
Double top plates, lap splice	8-16d
11. Blocking between joists or rafters to top plate, toenail	3-8d
12. Rim joist to top plate, toenail	8d at 6" (152 mm) o.c.
13. Top plates, laps and intersections, face nail	2-16d
14. Continuous header, two pieces	16d at 16"o.c., along edge
15. Ceiling joists to plate, toenail	3-8d
16. Continuous header to stud, toenail	4-8d
17. Ceiling joists, laps over partitions, face nail	3-16d
18. Ceiling joists to parallel rafters, face nail	3-16d
19. Rafter to plate, toenail	3-8d
20. 1" brace to each stud and plate, face nail	2-8d
21. 1" x 8" sheath'g or less to each bearing, face nail	3-8d
22. Wider than 1" x 8" sheathing to each bearing, face nail	3-8d
23. Built-up corner studs	16d at 24" o.c. at T & B
24. Built-up girder and beams	20d at 32" o.c. at T & B
25. 2" planks	16d @ ea. bearing
26. Collar tie to rafter, face nail	3-10d
27. Jack rafter to hip, toe nail	3-10d
Jack rafter to hip, face nail	2-16d
28. Roof rafter to 2-by ridge beam, toenail	2-16d
Roof rafter to 2-by ridge beam, face nail	2-16d
29. Joist to band joist, face nail	3-16d
30. Ledger strip, face nail	3-16d
31. Wood structural panels and particleboard:	
Subfloor, roof and wall sheating (to framing)	
1/2" and less	6d (c,n)
19/32" to 3/4"	8d (o) or 6d (e)
7/8" to 1"	8d (c)
1 1/8" - 1 ¼"	10d (o) or 8d (c)
Single floor;	
Combination subfloor-underlayment (to framing):	
3/4" and less	6d (e)
7/8"-1"	8d (e)
1 1/8" - 1 ¼"	10d or 6d (e)
32. Panel siding (to framing):	
1/2" or less	6d (e)
5/8"	8d (e)
33. Fiberboard sheathing:	
1/2"	No. 11 ga. roof nail (h)
	6d common nail
	No. 16 ga. staple (i)
25/32"	No. 11 ga. roofing nail (h)
	8d common nail
	No. 16 ga. staple (i)
34. Interior panelling	
1/4"	4d (j)
3/8"	6d (k)

(a) Common or box nails are permitted to be used except where otherwise stated.
(b) Nails spaced at 6 inches on center at edges, 12 inches at intermediate supports except 6 inches at supports where spans are 48 inches or more. For nailing of wood structural panel and particleboard diaphragms and shear walls, refer to Section 2305. Nails for wall sheathing are permitted to be common, box or casing.
(c) Common or deformed shank (6d - 2"x0.113"; 8d - 21/2"x0.131"; 10d - 3"x0.148").
(d) Common (6d - 2"x0.113"; 8d - 21/2"x0.131"; 10d - 3"x0.148").
(e) Deformed shank (6d - 2"x0.113"; 8d - 21/2"x0.131"; 10d - 3"x0.148").
(f) Corrosion-resistant siding (6d - 1?/8"x0.106"; 8d - 23/8"x0.128") or casing (6d - 2"x0.099"; 8d - 21/2"x0.113")nail.
(g) Fasteners spaced 3 inches on center at exterior edges and 6 inches on center at intermediate supports, when used as structural sheathing. Spacing shall be 6 inches on center on th edges and 12 inches on center at intermediate suports for nonstructural applications.
(h) Corrosion-resistant roofing nails with 7/16-inch-diameter head and 1 1/2-inch length for 1/2-inch sheathing and 1 3/4-inch length for 25/32-inch sheathing.
(i) Corrosion-resistant staples with nominal 7/16-inch crown and 1 1/8-inch length for 1/2-inch sheathing and 1 1/2-inch length for 25/32-inch sheathing. Panel supports at 16 inches (20 inches if strength axis in the long direction of the panel, unless otherwise marked).
(j) Casing (11/2"x0.080") or finish (11/2"x0.072") nails spaced 6 inches on panel edges, 12 inches at intermediate supports.
(k) Panel supports at 24 inches. Casing or finish nails spaced 6 inches on panel edges, 12 inches at intermediate supports.
(l) For roof sheathing applications, 8d nails (21/2"x0.113") are the minimum required for wood structural panels.
(m) Staples shall have a minimum crown width of 7/16 inch.
(n) For roof sheathing applications, fasteners spaced 4 inches on center at edges, 8 inches at intermediate supports.
(o) Fasteners spaced 4 inches on center at edges, 8 inches at intermediate supports for subfloor and wall sheathing and 3 inches on center at edges, 6 inches at intermediate supports for roof sheathing.
(p) Fasteners spaced 4 inches on center at edges, 8 inches at intermediate supports.

PRODUCT CODES

PRODUCT	LARR#	ICBO
HILTI		
HILTI HIT-RE 500-SD ADHESIVE	RR-25700	ESR-2322
POWER DRIVEN FASTENERS	RR-25646	ESR-1663
SIMPSON STRONG-TIE		
A35	RR-25716	ER-112
LTP4 & LTP5	RR-25716	ESR-2606
ST & MST STRAP	RR-25713	ESR-2105
CS & CMS STRAP	RR-25713	ESR-2105
HDU HOLDOWN	RR-25720	ESR-2330
HUC HANGER	RR-25801	ESR-2549
H2.5 TIE	RR-25718	ESR-2613
LSTA18 & LSTA30 STRAP	RR-25713	ESR-2105
LTT TENSION TIE	RR-25818	ER-130
SDS SCREWS	RR-25711	ESR-2236
U26 HANGER	RR-25807	ESR-2549
Z2 CLIP	RR-25716	ESR-2606
GLTV 5.514 TF HANGER	RR-25803	ESR-2615
SET-XP EPOXY	RR-25744	ESR-2508
ENGINEERED WOOD		
BOISE BUILDING SOLUTIONS LLC	RR-24998 & 24999	ESR-1040 & 1336
WEYERHAEUSER/LEVEL	RR-25538 & 25202	ESR-1153 & 1387
LOUISIANA-PACIFIC	RR-25099, 25176 & 25167	ESR-1305, 1130 & 1254
REDBUILT LLC	RR-2582 & 25833	ESR-2993 & 2994

NOTE: A COPY OF THE LOS ANGELES RESEARCH REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.

TYPICAL BAR DEVELOPMENT AND LAP SPLICE

f'c = 3000 PSI

	Misc		Top		Hooked
BAR	Ld	Splice	Ld	Splice	Ldh
#3	17	23	22	29	9
#4	22	29	29	38	11
#5	28	37	36	47	14
#6	33	43	43	56	17
#7	48	63	63	82	20
#8	55	72	72	94	22
#9	62	81	81	106	25
#10	70	91	91	119	28
#11	78	102	101	132	31

NOTE
1) Values for uncoated reinforced and normal weight concrete with clear spacing > db, clear cover > db, and minimum stirrups or ties throughout Ld or clear spacing > 2db and clear cover > db
2) Develop all reinforcing in structural slabs with minimum development length Ld
3) Top = horizontal bar with more than 12-inches of fresh concrete below (excluding wall horizontal reinforcing) or as notes on documents as "Top" bar
4) For f'c concrete other than 3000 PSI, multiply tabulated values by (3000/f'c)^0.5
5) All tabulated values are in inches

DESIGN CRITERIA; 2013 IBC, 2013 CBC, 2014 LABC

A. SEISMIC:

ANALYSIS METHOD = EQ. LATERAL

DESIGN CATEGORY	'E'
SITE CLASS	'D'
IMPORTANCE FACTOR	1.0
Ss	2.154
S1	0.781
Fa	1.0
Fv	1.5
SDs	1.436
SD1	0.781
R	6.5
ρ	1.0
BASE SHEAR (ASD)	5.12 PSF

B. WIND:

BASIC WIND SPEED	110
EXPOSURE	"B"
IMPORTANCE FACTOR	1.0
Kzt	1.0
Wind Pressure (ASD)	13.0 PSF

C. DESIGN LOADS:

ROOF DEAD LOAD	22 PSF
ROOF LIVE LOAD	20 PSF
CEILING DEAD LOAD	5 PSF
CELING LIVE LOAD	10 PSF
FLOOR DEAD LOAD	10 PSF
FLOOR LIVE LOAD	40 PSF
DECK DEAD LOAD	N/A
DECK LIVE LOAD	N/A
TOTAL WEIGHT	

GENERAL NOTES FOR STRUCTURAL OBSERVATION

STRUCTURAL OBSERVATION PROGRAM AND DESIGNATION OF THE STRUCTURAL OBERVER

PROJECT ADDRESS: 9700 Portada Drive, Whittier Ca 90603 PERMIT APPL.: _____
DESCRIPTION OF WORK: 1-story addition & remodel
OWNER: _____ ARCHITECT: _____ ENGINEER: SAYAH ENGINEERING

STRUCTURAL OBSERVATION (ONLY CHECKED ITEMS ARE REQUIRED)

FIRM OR INDIVIDUAL TO BE RESPONSIBLE FOR THE STRUCTURAL OBSERVATION:
NAME: SAYAH ENG. PHONE: 818.788.7887 CALIF. REGISTRATION: S6000

FOUNDATION	WALL	FRAMES	FLOOR
☒ FOOTING, STEM WALLS,PIERS	☐ CONCRETE	☐ STEEL MOMENT FRAME	☐ CONCRETE
☐ MAT FOUNDATION	☐ MASONRY	☐ STEEL BRACED FRAME	☐ STEEL DECK
☒ CAISSON, PILES, GRADE BEAMS	☒ WOOD	☐ CONCRETE MOMENT FRAME	☒ WOOD
☐ STEPPG/RETAING FOUNDATION, HILLSIDE SPECIAL ANCHORS	☐ OTHER	☐ MASONRY WALL FRAME	☐ OTHERS:
☐ OTHERS:		☒ OTHERS: CONNECTIONS	

STRUCTURAL OBSERVATION
1. the owner of the project, declare that the above listed firm or individual is hired by me to be the structural observer

SIGNATURE DATE

DECLARATION BY ARCHITECT OR ENGINEER OF RECORD (REQUIRED IF THE STRUCTURAL OBSERVER IS DIFFERENT FROM THE ARCHITECT OF ENGINEER OF RECORD)
1. the architect or engineer of record for the project, declare that the above listed firm or individual is designated by me to be responsible for the structural observation

SIGNATURE LICENSE NO. DATE

SPECIAL INSPECTION PROGRAM PER 2013 CBC BUILDING CODE

ITEM	CONTINUOUS	PERIODIC	COMMENTS
FIELD WELDING	X		STRUCTURAL GENERAL NOTES
GRADE BEAM CONC. fc >= 3000psi	X		STRUCTURAL GENERAL NOTES
EPOXY ANCHOR-BOLT PLACEMENT		X	APPLICABLE DETAIL NOTES
EPOXY HOLDDOWN PLACEMENT	X		APPLICABLE DETAIL NOTES
STEEL MRF FRAMES	X		APPLICABLE NOTES
CONCRETE MRF FRAMES	X		APPLICABLE NOTES
MASONRY		X	STRUCTURAL GENERAL NOTES

PROGRAM NOTES

.1. The items checked with an "X" shall be inspected in accordance with Building-Code chapter 17 by a certified special inspector from an established testing agency. For material sampling and testing requirements. Refer to the material sampling and testing section, the project specification and the specific general notes sections. The testing agency shall send copies of all structural testing and inspection reports directly to the Architect, Structural engineer, Contractor and Building Official. Any materials which fail to meet the project specifications shall immediately be brought to the attention of the Architect. Special inspection testing requirements apply equally to all bidder designed components.
2. Special inspection is not required for work performed by an approved fabricator per Building-Code section 1701.7.
3. Continuous special inspection means that the special inspector is on the site at all times observing the work requiring special inspection. Periodic special inspection means that the special inspector is on site at time intervals necessary to confirm that all work requiring special inspection is in compliance.
4. All welds shall be visually inspected.
5. All complete penetration welds shall be tested ultrasonically or by use of a comparable approved method.
6. Periodic special inspection is allowed for welding of ASTM a 706 reinforcing steel not greater than NO. 5 used for embedment. Provided the materials and the qualifications of welding procedures and welders are verified prior to the start of work; that periodic inspections are made of work in progress; and that a visual inspection of all welds is made prior to completion or prior to shipment of shop welded items
7. Inspection for prefabricated construction shall be the same as if the material used in the construction took place on site. Continuous inspection will not be required during prefabrication if the approved agency certifies the construction and furnishes evidence of compliance.
8. Special inspection by a registered deputy inspector is required for field welding, concrete strength over 2500 PSI, high-lift grouting, pre-stressed concrete, and special moment resisting concrete frames.

SHEAR PANEL SCHEDULE (CBC Table 2306.2(1))

12 — 3/8" lath and ½" concrete plaster, No.16 gage galv. staple 1½" long @ 5" o/c, sill nailing 20d @ 12" o/c (or 1/4" SDS @ 12"o/c 5" long), Sill bolts: 5/8" A.B.'s x 14" long @ 48" o/c, 2x sill, w/LTP4 @32" o/c for top plate connection.
[98 plf] plywood sheathing not required. (Seismic factor R=2, Cd=2, Ω=2.5)

13 — ½" plywood, structural grade 1, block all edges, BN = EN = 8d @ 6" o/c, IN = 8d @ 12"o/c, sill nailing 20d @ 8" o/c (or 1/4" SDS @ 8"o/c 5" long), Sill bolts: 5/8" A.B.'s x 14" long @ 32" o/c, 2x sill, w/LTP4 @16" o/c for top plate connection.
[198 plf] 1-SIDE plywood sheathing. (Seismic factor R=6.5, Cd=4, Ω=3)

14 — ½" plywood, structural grade 1, block all edges, BN = EN = 8d @ 4" o/c, IN = 8d @ 12"o/c, sill nailing 20d @ 4" o/c (or 1/4" SDS @ 6"o/c 5" long), Sill bolts: 5/8" A.B.'s x 14" long @ 16" o/c, 2x sill, w/LTP4 @16" o/c for top plate connection.
[298 plf] 1-SIDE plywood sheathing. (Seismic factor R=6.5, Cd=4, Ω=3)

15 — ½" plywood, structural grade 1, block all edges, BN = EN = IOd @3"o/c, IN = IOd @ 12"o/c, sill nailing 1/2" Ø lag bolts x 10" long @ 8" o/c (or 1/4" SDS @ 4"o/c 6" long), Sill bolts: 5/8" A.B.'s x 14" long @ 16" o/c. 3x sill and studs at plywood splice, w/ LTP4 @12" o/c for top plate connection.
[498 plf] 1-SIDE plywood sheathing. (Seismic factor R=6.5, Cd=4, Ω=3)

16 — ½" plywood, structural grade 1, block all edges, BN = EN = 1Od @ 2" o/c IN = IOd @12"o/c, sill nailing 5/8" Ø lag bolts x 10" long @ 8" o/c, Sill bolts: 3/4" A.B.'s x 14" long @ 12" o/c, 3x sill and studs at plywood splice, w/ LTP4 @ 8" o/c for top plate connection.
[650 plf] 1-SIDE plywood sheathing. (Seismic factor R=6.5, Cd=4, Ω=3)

25 — ½" plywood, structural grade 1, block all edges, BN = EN = IOd @ 3" o/c, IN = IOd @ 12"o/c, sill nailing 5/8" Ø lag bolts x 10" long @ 8" o/c, Sill bolts: 3/4" A.B.'s x 14" long @ 12" o/c, 3x sill and studs at plywood splice, w/ 2-LTP4 @12" o/c for top plate connection.
[800 plf] 2-SIDE plywood sheathing. (Seismic factor R=6.5, Cd=4, Ω=3)

26 — ½" plywood, structural grade 1, block all edges, BN = EN = 1Od @ 2" o.c. IN= IOd @ 12"o/c, sill nailing 5/8" Ø lag bolts x 10" long @ 8" o/c, Sill bolts: 3/4" A.B.'s x 14" long @ 12" o/c, 4x sill and studs at plywood splice, w/ 2-LTP4 @ 8" o/c for top plate connection.
[1000 plf] 2-SIDE plywood sheathing. (Seismic factor R=6.5, Cd=4, Ω=3)

NOTES
1). Use common nails only, no sinker or box nails.
2). Engineering observation is required for 14 & 15 & 16 & 25 & 26
3). All bolt holes shall be drilled 1/32" to 1/16" oversized; deputy to verify hold-down holes.
4). Tighten hold-down bolts just before covering.
5). Plywood to be 5 ply, nails to be minimum ½" from panel edge.
6). At sill bolts and hold-down bolts use plate washers in place of cut washers; 3" x 3" x ¼" for 5/8" and ¾" bolts.
7). Special periodic inspection is required for 14 & 15 & 16 & 25 & 26
8). Roof diaphram nailing to be inspected before covering.
9). Face grain of plywood shall be prependicular to supports.
10). Floor shall have tunge and groove or blocked panel edges.
11). Plywood spans shall conform with Table 2304.7
12). Hold-down hardware must be secured in place prior to foundation inspection.
13). Nailing to be staggered for all members receiving edge nailing.
14). Hold-down connector bolts into wood framing require approved plate washers, and hold-downs shall be finger tight and 1/2 wrench turn just prior to covering the wall framing. Connector bolts into wood framing require steel plate washers in accordance with Table 2305.5 of the LA Building Code.

TABLE1.0: TYPICAL BAR DEVELOPMENT AND LAP SPLICE

f'c = 3000 PSI

	Misc		Top		Hooked
BAR	Ld	Splice	Ld	Splice	Ldh
#3	17	23	22	29	9
#4	22	29	29	38	11
#5	28	37	36	47	14
#6	33	43	43	56	17
#7	48	63	63	82	20
#8	55	72	72	94	22
#9	62	81	81	106	25
#10	70	91	91	119	28
#11	78	102	101	132	31

NOTE
1) Values for uncoated reinforced and normal weight concrete with clear spacing > db, clear cover > db, and minimum stirrups or ties throughout Ld or clear spacing > 2db and clear cover > db
2) Develop all reinforcing in structural slabs with minimum development length Ld
3) Top = horizontal bar with more than 12-inches of fresh concrete below (excluding wall horizontal reinforcing) or as notes on documents as "Top" bar
4) For f'c concrete other than 3000 PSI, multiply tabulated values by (3000/f'c)^0.5
5) All tabulated values are in inches

TABLE 3.0 HOLD DOWN SCHEDULE

MARK	TYPE	FASTENERS	ANCHOR DIA.	MIN POST	ALLOWABLE TENSION	25% REDUCED TENSION
2	HDU2	6-SDS25212 SCREWS	5/8"	4x4	3075 lbs	2306 lbs
4	HDU4	10-SDS25212 SCREWS	5/8"	4x4	4565 lbs	3424 lbs
5	HDU5	14-SDS25212 SCREWS	5/8"	4x6	5670 lbs	4253 lbs
8	HDU8	20-SDS25212 SCREWS	7/8"	4x8 or 6x6	7870 lbs	5903 lbs
11	HDU11	30-SDS25212 SCREWS	1"	6x6	11175 lbs	8381 lbs
14	HDU14	36-SDS25212 SCREWS	1"	6x6	14445 lbs	10834 lbs
19	HD19	5- 1"DIA. THRU BOLTS	11/4"	6x6	18550 lbs	13913 lbs

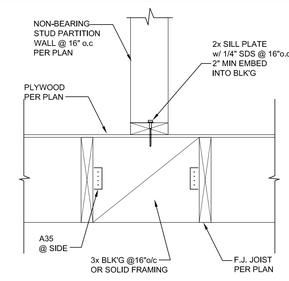
NOTES
1) Provide minimum post size as indicated, U.N.O.
2) HDU style hold-downs with screws per LARR#25720, ICC ESR 2330
3) HD style hold-downs with through bolts per LARR#25828, IAPMO ESR 0143, countersinking bolts are not allowed.
4) Hold-down hardware must be secured in place prior to foundation inspection.
5). Hold-down connector bolts into wood framing require approved plate washers, and hold-downs shall be finger tight and 1/2 wrench turn just prior to covering the wall framing. Connector bolts into wood framing require steel plate washers in accordance with Table 2305.5 of the LA Building Code.

TABLE 2.0 DEVELOPMENT AND LAP SPLICE

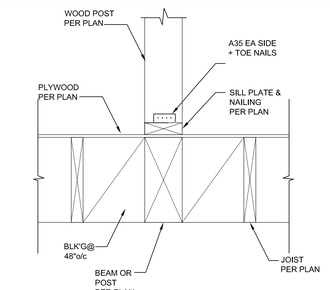
Masonry f'm = 1500 PSI

	2-Layer		1-Layer	
BAR	Ld	Splice	Ld	Splice
#3	16	16	16	16
#4	26	26	21	21
#5	40	40	26	26
#6	74	74	49	49
#7	101	101	69	69
#8	151	151	108	108
#9	193	193	143	143

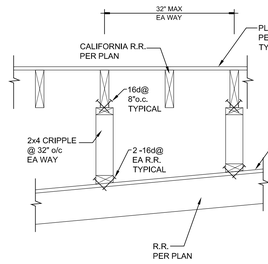
NOTES
1) Values for uncoated reinforced and normal weight concrete with clear spacing > db, clear cover > db, and minimum stirrups or ties throughout Ld or clear spacing > 2db and clear cover > db
2) For f'm masonry other than 1500 PSI, multiply tabulated values by (1500/f'm)^0.5
3) All tabulated values are in inches



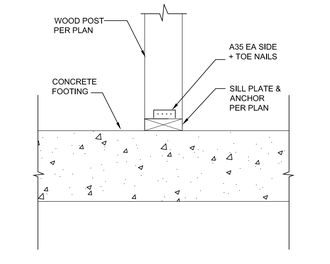
TYPICAL NON-BEARING WALL SUPPORT — 6



TYPICAL POST ABOVE CONNECTION/ FRAMING — 1



TYPICAL CALIFORNIA ROOF SUPPORT — 7



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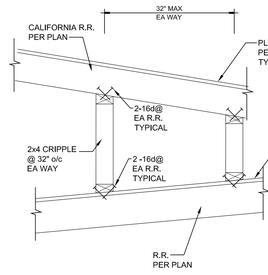
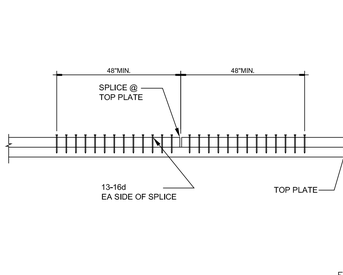
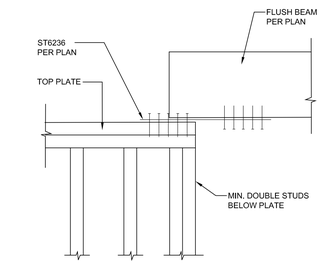


TYPICAL CALIFORNIA ROOF SUPPORT — 8



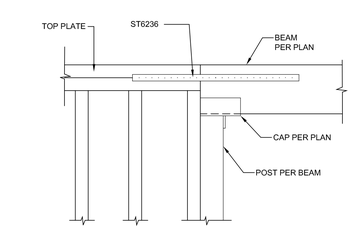
FRM022a

TYPICAL TOP PLATE SPLICE CONNECTION — 3



FRM024

TYPICAL FLUSH BEAM DRAG CONNECTION — 4



FRM023

TYPICAL DROPPED BEAM DRAG CONNECTION — 5

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Candamil Residence
1-story addition & remodel

Candamil Residence
9700 Portada Drive
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Sheet Contents:
NOTES
DETAILS

Scale: AS SHOWN
0' 1' 3' 8'

Revisions:

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Project No.: S16225
File Name: S16225_S
Sheet No.:

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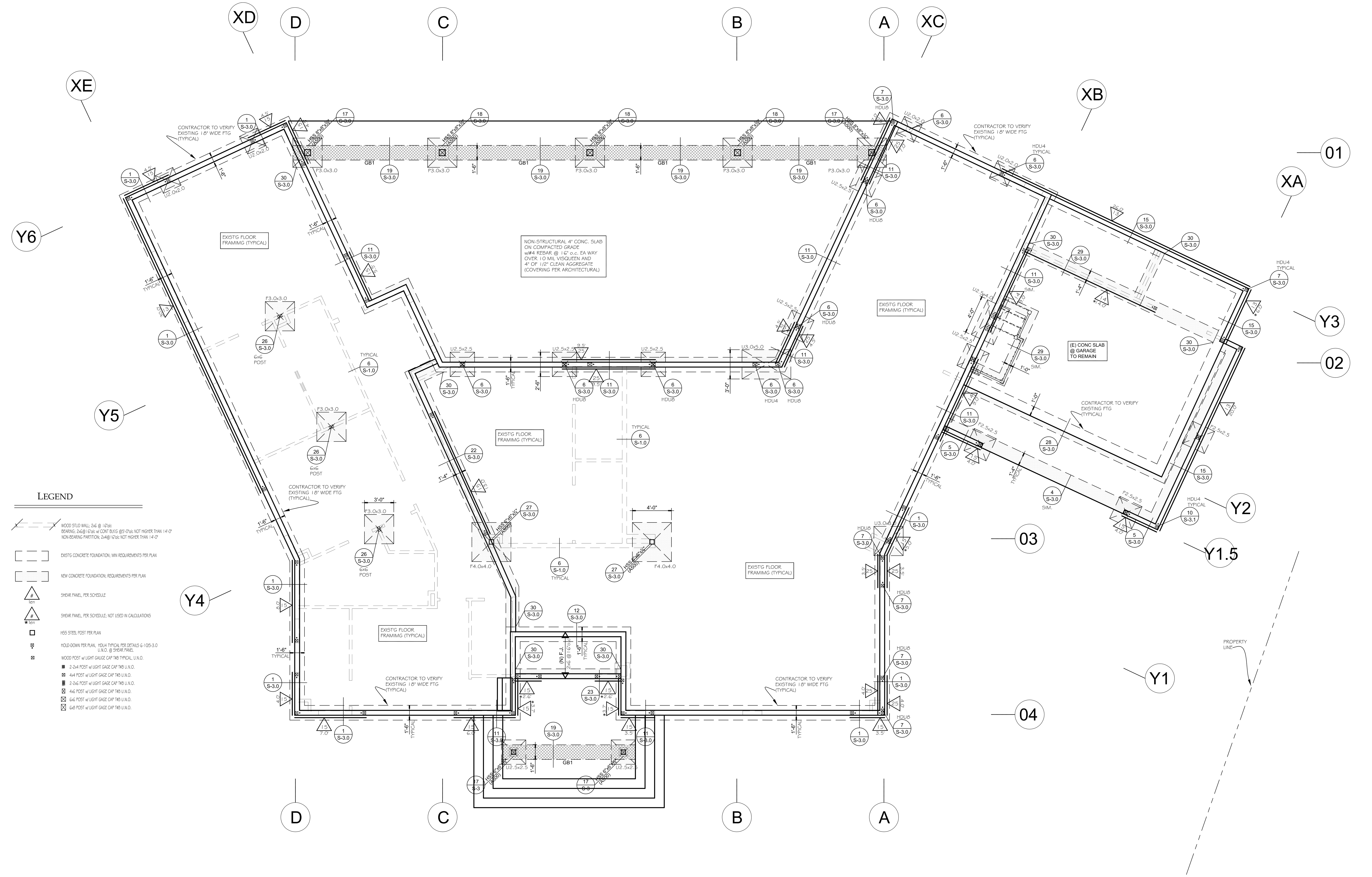
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XC
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XA
Y6
Y3
02
Y5
Y2
03
Y1.5
Y4
Y1
04
CONTRACTOR TO VERIFY EXISTING 18" WIDE FTG (TYPICAL)
NON-STRUCTURAL 4" CONC. SLAB ON COMPACTED GRADE w/#4 REBAR @ 16" o.c. EA WAY OVER 10 MIL VISQUEEN AND 4" OF 1/2" CLEAN AGGREGATE (COVERING PER ARCHITECTURAL)
EXISTG FLOOR FRAMIMG (TYPICAL)
(E) CONC SLAB @ GARAGE TO REMAIN
PROPERTY LINE
GB1
LEGEND

FOUNDATION PLAN

NOTES: SCALE: 1/4" = 1'-0"

1. IF ADVERSE SOIL CONDITIONS ARE ENCOUNTERED, A SOILS INVESTIGATION REPORT MAY BE REQUIRED.
2. WOOD IN CONTACT WITH CONCRETE OR MASONRY MUST BE PRESSURE TREATED.
3. ⊠ INDICATES HOLD DOWN @ END OF SHEAR PANEL; TO BE HDU4 TYPICAL, U.N.O.
4. SEPARATION BETWEEN WOOD AND EARTH MUST BE AT LEAST 8". THE SEPARATION MAY BE 6" IF ADJACENT TO A PAVED SURFACE DRAINING AWAY FROM THE BUILDING.
5. CONTRACTOR TO VERIFY EXISTING CONDITIONS AND NOTIFY ENGINEER IN WRITTING FOR AUTHORIZATION ON ANY CHANGE IN PLANS OR DETAILS.
6. CONCRETE STRENGTH OF FOUNDATIONS SHALL BE 2500 psi MIN (CRC, R402.2 Teble R402.2).
7. MINIMUM FOOTING REINFORCEMENT SHALL BE ONE #4 BAR TOP AND BOTTOM (CRC R403.1.3).
8. MINIMUM ANCHOR BOLT SIZE AND SPACING SHALL BE 5/8" DIA A.B.@72"o/c WITH 7" EMBEDMENT AND 3"x3"x1/4" PLATE WASHERS. ANCHOR BOLTS SHALL BE LOCATED A MINIMUM OF 12" and 4 1/2" MINIMUM FROM THE END OF THE PLATE (CRC R403.1.6, R602.11.1).

GRADE BEAM SCHEDULE (3000 PSI CONCRETE @28 DAY)

MARK	SIZE (WxH)	REBAR	TIES	NOTE
GB1	18" x 24"	2-#6 T&B	#4@12"o/c	

TABLE 1.0; FOOTING SCHEDULE
(2500 PSI CONCRETE @28DAY)

MARK	SIZE (WxLxH)	REBAR	DEPTH IN SOIL	NOTE
CONT FTG	W = PER LPAN L = PER PLAN H = 24"	#4@12"o.c. T&B MIN 2#4 T&B	24" MIN	FTG WIDTH PER PLAN AS NOTED, 12" MIN ALL ELSE
PAD-FTG "F<W>x<L>"	W = PER PLAN L = PER PLAN H = 24"	#4@8"o.c. T&B EA. WAY	24" MIN	SEE DETAIL 26/S-3.0 & 27/S-3.0
PAD-FTG "P<W>x<L>"	W = PER PLAN L = PER PLAN H = 16"	#4@8"o.c. T&B EA. WAY	24" MIN	SEE DETAIL 17/S-3.0 & 18/S-3.0
UNDER-FTG "U<W>x<L>"	W = PER PLAN L = PER PLAN H = 12" MIN.	#4@8"o.c. EA. WAY	24" MIN	SEE DETAIL 6/S-3.0 & 16/S-3.0

S
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Sheet Contents: Foundation Plan

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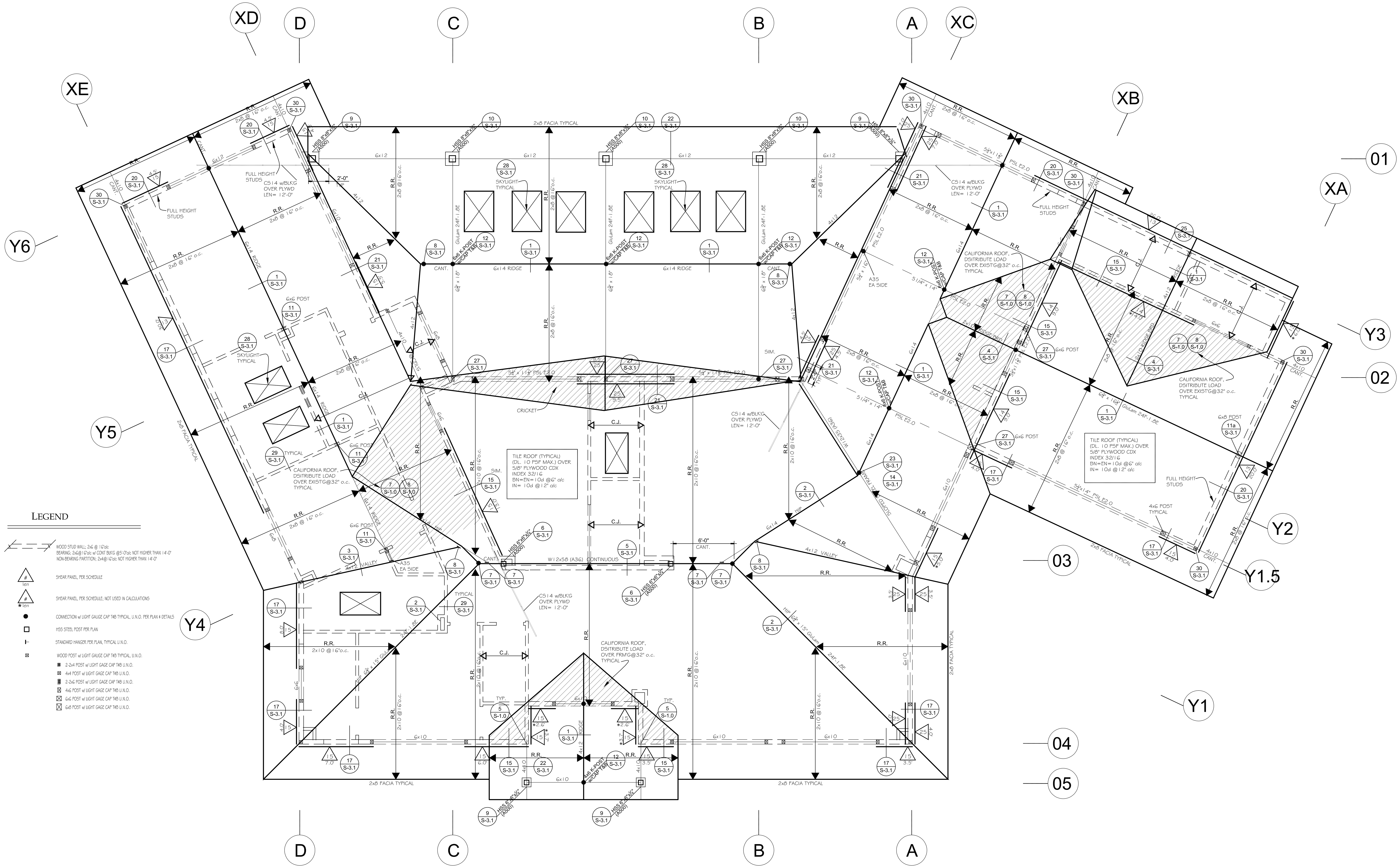

ROOF FRAMING PLAN

NOTES: SCALE: 1/4" = 1'-0"

1. ALL ROOFING MATREIAL UNDER CALIFORNIA OR CRIKET ROOF SECTIONS, ARE TO BE REMOVED PRIORI TO INSTALLTION OF NEW ROOF FRAMING.
2. ROOF RAFTER(R.R.) TO BE 2x8 @ 16" o/c, U.N.O.; CEILING JOIST (C.J.) TO BE 2x8@16"o.c U.N.O.
3. STUDS TO BE 2x6@ 16 o/c w/ 2x BLOCKING @ 5'-0" o.c. MAX NOT HIGHER THAN 14'-0" U.N.O.
4. ⊠ IINDICATES 4x4 or 2-2x6 POST MINIMUM, U.N.O.
5. CONTRACTOR TO VERIFY EXISTING CONDITIONS AND NOTIFY ENGINEER IN WRITTING FOR AUTHORIZATION ON ANY CHANGE IN PLANS OR DETAILS.
6. ▨ INDICATES NEW CALIFORNIA ROOF OVER EXISTING OR NEW.
7. ORIENTED STRAND BOARD (OSB) CAN BE SUBSTITUTED FOR PLYWOOD PER STRUCTURAL GENHERAL NOTES 10/S-1

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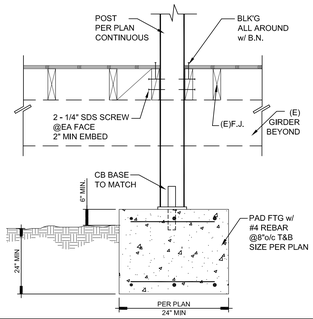

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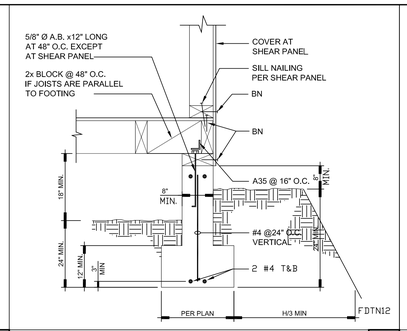

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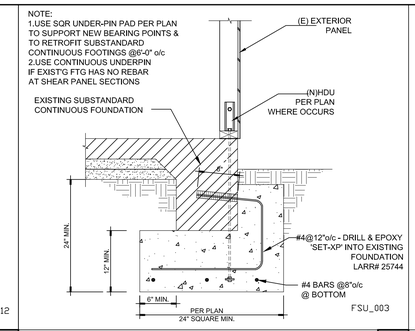

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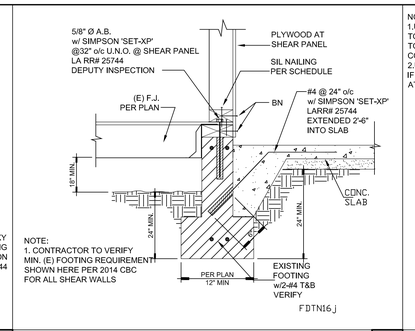

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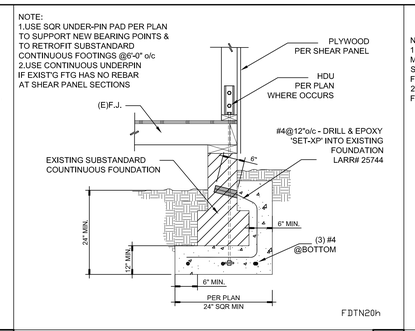

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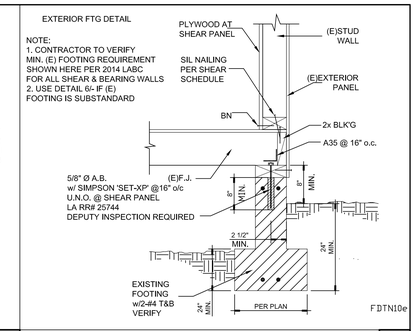

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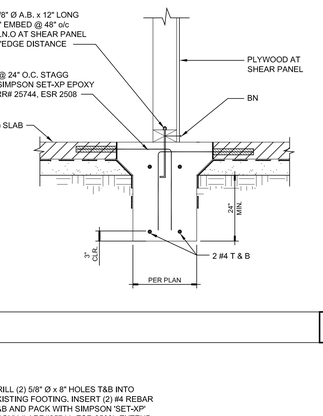

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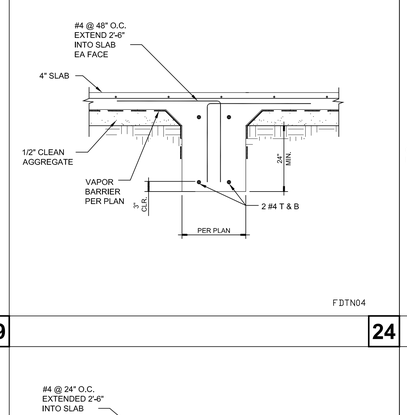

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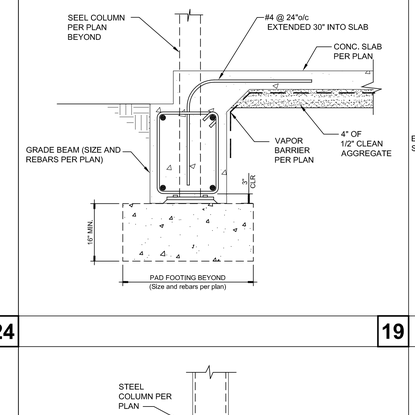

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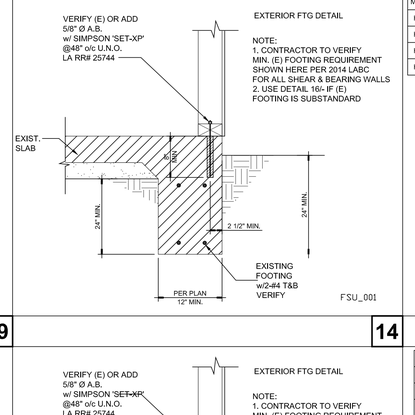

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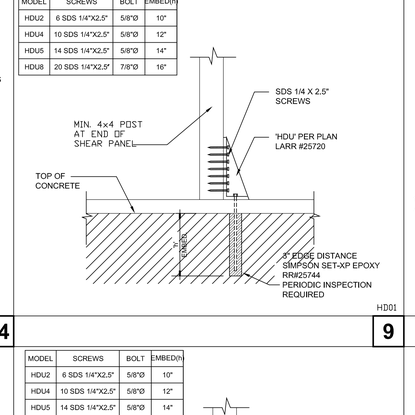
MODEL	SCREWS	BOLT	EMBED(h)
HDU2	6 SDS 1/4"X2.5"	5/8"Ø	10"
HDU4	10 SDS 1/4"X2.5"	5/8"Ø	12"
HDU5	14 SDS 1/4"X2.5"	5/8"Ø	14"
HDU8	20 SDS 1/4"X2.5"	7/8"Ø	16"



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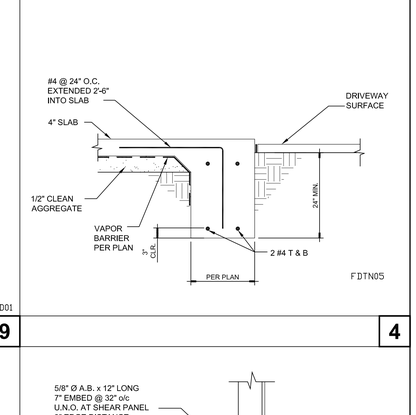

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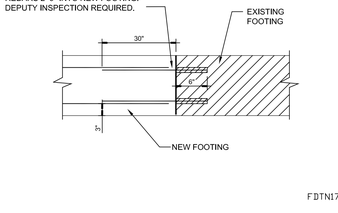

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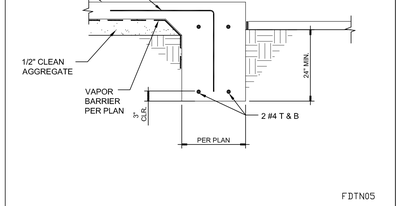

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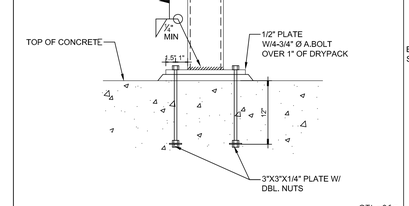

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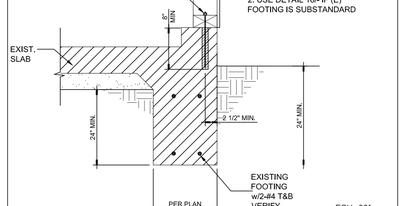

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MODEL	SCREWS	BOLT	EMBED(h)
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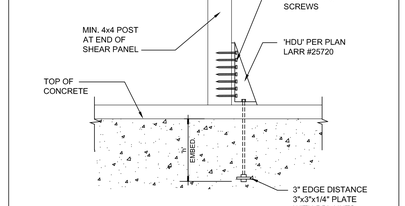
HDU5	14 SDS 1/4"X2.5"	5/8"Ø	14"
HDU8	20 SDS 1/4"X2.5"	7/8"Ø	16"



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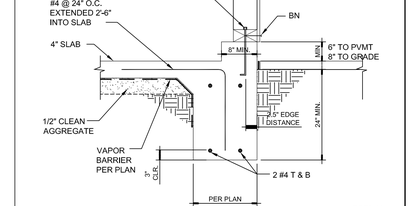

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14

MODEL	SCREWS	BOLT	EMBED(h)
HDU2	6 SDS 1/4"X2.5"	5/8"Ø	10"
HDU4	10 SDS 1/4"X2.5"	5/8"Ø	12"
HDU5	14 SDS 1/4"X2.5"	5/8"Ø	14"
HDU8	20 SDS 1/4"X2.5"	7/8"Ø	16"

9

4

30

TYPICAL CONNECTION TO EXIST'G FTG

25

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15

MODEL	SCREWS	BOLT	EMBED(h)
HDU2	6 SDS 1/4"X2.5"	5/8"Ø	10"
HDU4	10 SDS 1/4"X2.5"	5/8"Ø	12"
HDU5	14 SDS 1/4"X2.5"	5/8"Ø	14"
HDU8	20 SDS 1/4"X2.5"	7/8"Ø	16"

10

5

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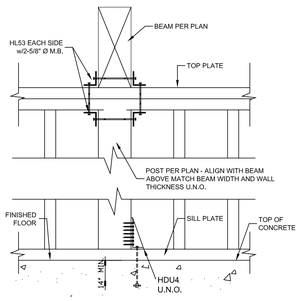

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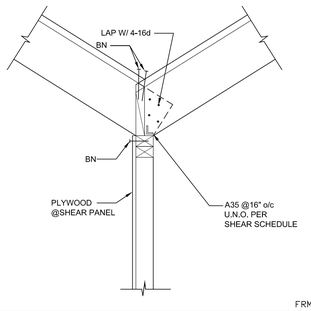

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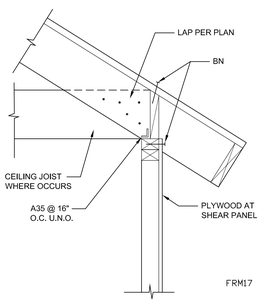

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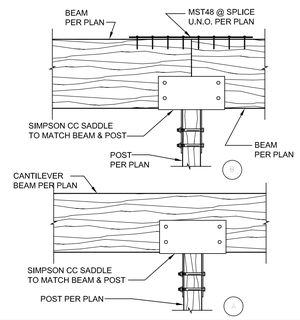

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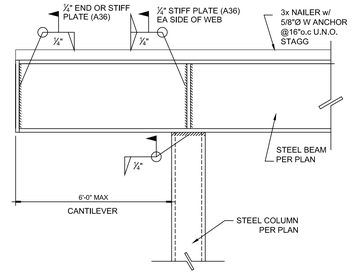

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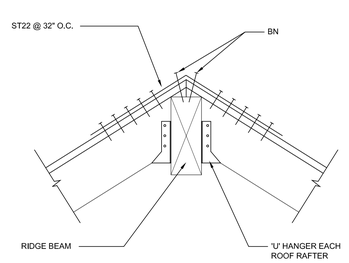

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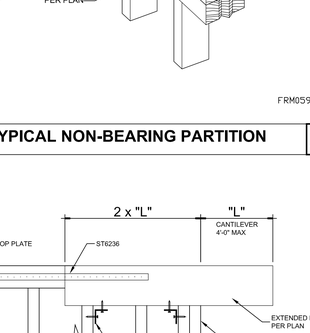

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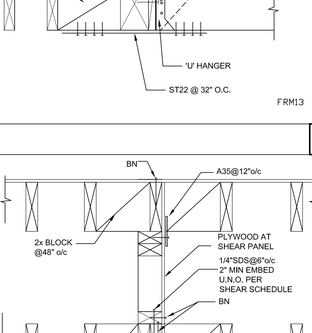

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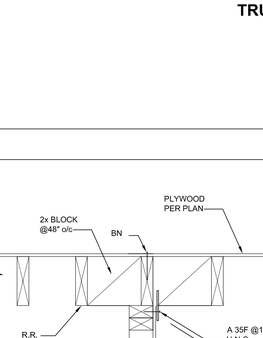

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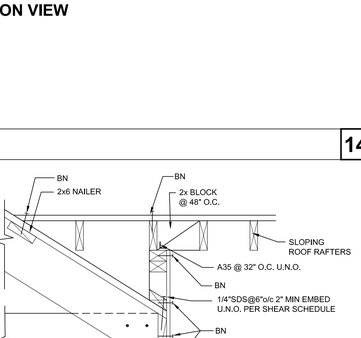

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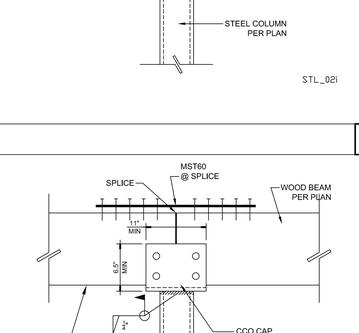

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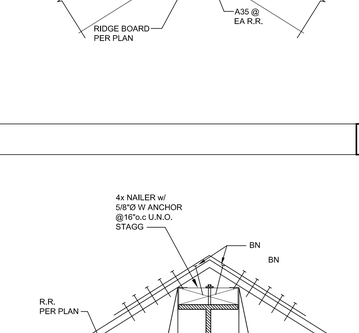

FRM08

2

TYPICAL SKYLIGHT

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TRUSS ELEVATION VIEW

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FRM08a

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FRM059a

TYPICAL NON-BEARING PARTITION

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FRM13

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14

STL_02i

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4

TYPICAL EXTENDED CANTILEVER BEAM

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25

FRM06

FRM45f

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FRM20

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STL_02i

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